

Rubidoux Community Services District

Board of Directors

John Skerbelis, President
Hank Trueba Jr., Vice-President
Bernard Murphy
Armando Muniz
F. Forest Trowbridge

General Manager

Brian R. Laddusaw



Water Resource Management Refuse Collection Street Lights Fire / Emergency Services Weed Abatement

NOTICE AND AGENDA FOR THE RUBIDOUX COMMUNITY SERVICES DISTRICT BOARD MEETING

Thursday, April 4, 2024, at 4:00 PM

During this regular meeting of the Rubidoux Community Services District Board of Directors, members of the public will have the choice to attend and address the Board in person or attend and address the Board via Zoom.

Members of the public wanting to attend and/or address the Board virtually may do so by using the Zoom App or website for free at: <https://zoom.us/>

- Meeting ID is **994 957 9980**
- Passcode is: rcsd
- Call into the meeting number 1-669-444-9171

Only one person at a time may speak by telephone or Zoom and only after being recognized by the President of the Board.

Closed Session: At any time during the regular session, the Board may adjourn to a closed executive session to consider matter of litigation, personnel, negotiations, or to deliberate on decisions as allowed and pursuant with the open meetings laws. Discussion of litigation is within the Attorney/Client privilege and may be held in closed session.

Authority: Government code 11126-(a) (d) (q).

ADDITIONS TO THE AGENDA

In accordance with Section 54954.2 of the Government Code (Brown Act), additions to the agenda require a two-thirds vote of the entire Board, or, if fewer than two-thirds of the members are present, a unanimous vote of those members present, making findings that there is a need to take immediate action and that the need for action came to the attention of the District subsequent to the posting of the agenda.

1. **CALL TO ORDER** – John Skerbelis, President
2. **PLEDGE OF ALLEGIANCE** – General Manager
3. **ROLL CALL** – General Manager
4. **PUBLIC COMMENTS**

Members of the public are encouraged to address the Board of Directors. Anyone who wishes to speak on an item not on the published agenda must submit a comment request card to the General Manager or designee. Each speaker should begin by identifying themselves for the record and is allowed up to five minutes.

No one may give their time to a speaker during the public comment period of the meeting. It is requested that all present refrain from any action that might disrupt the orderly course of the meeting. Coarse, crude, profane, or vulgar language, or unsolicited comments from the audience, which disrupts or disturbs the Board meeting, may result in exclusion from the meeting.

The Ralph M. Brown Act, Government Code 54950, et. seq. prohibits members of the Board of Directors from taking formal action or discuss items not on the published agenda. As a result, immediate response to public comment may be limited.

5. **PRESENTATION** – Jurupa Unified School District
6. **CONSENT CALENDAR**

Consent Calendar items are expected to be routine and non-controversial and are to be acted upon by the Board by one motion, without discussion. If any Board member, staff member, or interested person requests that an item be removed from the Consent Calendar for further discussion, it will be moved to the first item on the Action Agenda.

- A. Approval of Minutes for March 21, 2024, Regular Meeting
- B. Consideration to Approve April 5, 2024, Salaries, Expenses and Transfers
- C. **DM 2024-27:** Consider Assignment of Participation Agreement for Tract 33617 (Stockdale Court) from JRC Rubidoux Industrial Land Owner, LLC (“Developer”) to Birtcher Anderson Davis Associates Incorporated
- D. **DM 2024-28:** Consider Approval of ERS Environmental Services (“ERS”) Quote for the Repair of Manganese Filter #3 at the Leland Thompson Water Treatment Plant (“Thompson Plant”)

7. CORRESPONDENCE AND RELATED INFORMATION

8. REPORTS

- A. Operations Report (Second Meeting Each Month)
- B. Emergency and Incident Report (Second Meeting Each Month)
- C. General Manager and Staff Reports / Updates
- D. Committee Reports

9. ACTION / DISCUSSION ITEMS

- A. **DM 2024-30:** Consider Amendment to the 2005 Design and Construction Manual to add Advanced Meter Infrastructure ("AMI") Meters to the Approved Material Specifications

10. DIRECTORS COMMENTS AND REQUESTS

11. NEXT MEETING


Thursday, April 18, 2024, at 4:00 p.m.

12. ADJOURNMENT

Any person with a disability who requires a modification or accommodation in order to participate in this meeting, or any person with limited English proficiency (LEP) who requires language assistance to communicate with the Rubidoux Community Services District Board of Directors during the meeting, should contact the Rubidoux Community Services District Administrative Department, at (951) 684-7580 or admin@rcsd.org, no fewer than two (2) business days prior to this meeting to enable the Rubidoux Community Services District to make reasonable arrangements to assure accessibility or language assistance for this meeting.

DECLARATION OF POSTING

I, Brian Laddusaw, General Manager and Board Secretary to the Rubidoux Community Services District, certify that a copy of this has been posted in the District's main office, 3590 Rubidoux Blvd., Jurupa Valley, and on its website no less than seventy-two (72) hours before the start of the meeting.



Ted Beckwith, Director of Engineering for
Brian Laddusaw
General Manager-Secretary

4. **PUBLIC COMMENTS**

5. **PRESENTATION** – Jurupa Unified School District

6. **CONSENT CALENDAR**

A. Approval of Minutes for March 21, 2024, Regular Meeting

**RUBIDOUX COMMUNITY SERVICES DISTRICT
BOARD OF DIRECTORS**

**MINUTES OF REGULAR MEETING
Thursday, March 21, 2024**

DIRECTORS PRESENT: Bernard Murphy
John Skerbelis
F. Forest Trowbridge

DIRECTORS VIA ZOOM: Hank Trueba, Jr.
Armando Muniz

STAFF PRESENT: Brian Laddusaw, General Manager
Ted Beckwith, Director of Engineering
Miguel Valdez, Director of Operations
Martha Perez, Customer Service/Accounts Payable
Manager
Melissa Trujillo, HR Generalist/Safety and Facilities
Coordinator
Kirk Hamblin, Director of Finance and Administration

VISITORS (SIGNED IN): Chief Tim Anderson, Fire Station 38 Personnel
Paul, Onufer, Sequanota Venture LLC, representative
Ana Diaz, RCSD Resident
Veodis Stamps, RCSD Resident

ITEM 1. CALL TO ORDER

The meeting of the Board of Directors of the Rubidoux Community Services District by President Skerbelis, at 4:00 P.M., Thursday, March 21, 2024, in-person and by teleconferencing at the District's Administrative Office, 3590 Rubidoux Boulevard, Jurupa Valley, California.

ITEM 2. PLEDGE OF ALLEGIANCE – General Manager

ITEM 3. ROLL CALL – General Manager

ITEM 4. PUBLIC COMMENTS

No public comments were provided during the meeting.

ITEM 5. CONSENT CALENDAR

- A. Approval of Minutes for March 7, 2024, Regular Meeting
- B. Consideration to Approve March 22, 2024, Salaries, Expenses and Transfers
- C. **DM 2024-23:** Receive and File Statement of Cash Asset Schedule Report Ending January 2024

Director Murphy moved, and Director Trowbridge seconded to approve the Consent Calendar:

Roll call:

Ayes – 5

Noes – 0

Abstain – 0

Absent – 0

The motion was carried 5-0-0-0.

ITEM 6. CORRESPONDENCE AND RELATED INFORMATION

No information to report to the Board of Directors (“Board”).

ITEM 7. REPORTS

A. Operations Report (Second Meeting Each Month)

Director of Operations Miguel Valdez reported on the water/wastewater report for the month of February, production was an average of 2.64 mg per day and an average of 1.82 mg/day was the wastewater flow to Riverside. The consumption of JCSD was an average of 0.00. Well No. 18 produced 44.0% of water, Well No. 8 produced 22.8%, Well No. 6 produced 11.7%, Well No. 4 produced 14.6%, Well No. 2 produced 0.0%, and Well No. 1 produced 52.6%.

B. Emergency and Incident Report (Second Meeting Each Month)

Fire Station 38 Chief Anderson presented the month activity report for February 2024. Station 38 received a total of 251 calls. 24 were false alarm calls, 174 were medical, 7 were other fires, 1 were other miscellaneous, 5 were public service assistant, 4 were rescue fires, 2 were rescue calls, 1 was ringing alarm, 1 was standby, 28 were traffic collision, 2 vehicle fire and 2 were wildland fire.

C. General Manager and Staff Reports / Updates

GM Laddusaw commented on the City of Jurupa Valley Night scheduled for Thursday, April 11, 2024, at the Loan Mart Field in Rancho Cucamonga. Tickets are available for \$12 for residents. The baseball game starts at 6:30 pm. He also reported Jurupa Unified School District first ever State of the District is scheduled for Thursday, April 18, 2024. The program is scheduled for 5 pm -7 pm and the reception from 7 pm -8 pm. He also commented on the Jurupa Community

Services District Heli Hydrant Ribbon Cutting ceremony scheduled for Friday, April 5, 2024, at 10 am. He informed the Board of the upcoming Meet the Machines scheduled for Saturday, April 13th from 9 am- 1 pm. As well as the District 4 Town Hall Meeting that was scheduled for Tuesday, March 12th from 6:30 pm- 8:30 pm. GM Laddusaw, Director of Engineering Ted Beckwith, Director Murphy, and Board President Skerbelis were in attendance. A Town Hall District 5 Meeting is set to be scheduled and more information will be provided in the upcoming Board meetings. Lastly, he reminded the Board of the scheduled Interagency Coordinating Council (IAC) meeting on Friday, March 22nd at 8:30 am at the Discovery Center. Director of Engineering Ted Beckwith presented to the Board an Engineering and Operations Update presentation. The presentation included upcoming development and projects occurring within the District boundaries.

D. Committee Reports

GM Laddusaw reported the Personnel Committee met on Tuesday, March 12th. The Personnel Committee consists of Director Skerbelis and Director Trowbridge. They met to discuss in Closed Session the Labor Negotiations with Labors Internation Union of North America, Local 777. The Solid Waste Committee also met. They met on Tuesday, March 19th to Review DRAFT Cost Allocation for Solid Waste (Trash) Collection and Disposal as Submitted by Burrtec. The Committee includes Director Trueba and Director Skerbelis.

ITEM 8. ACTION/DISCUSSION ITEMS.

A. DM 2024-24: Request for Board of Directors Input on District Paid Sewer Extensions Tract 38171 (Countryside Estates)

BACKGROUND:

At the Board of Directors (“Board”) request, Rubidoux Community Services District (“District”) staff requested R.C. Hobbs (“Developer”) to add sewer extensions to three homes along Limonite Frontage Road to the sewer plans being prepared by the engineer for Tract 38171 (“Project”). These extensions are not shown in the District’s 2022 Wastewater Master Plan but have been included in the Sewer Improvement Plans for the Project and as shown in Attachment 1.

The connection of these homes will result in them no longer being on septic systems which tend to increase Nitrates in the local ground water. The District has no wells in this area that are affected by the discharge of effluent from these septic systems, but the ground water gradient (the direction of ground water flow) is towards our neighbors Jurupa Community Services District (“JCSD”). JCSD provides water to its customers in the City of Jurupa Valley and other areas to the west of the District. JCSD obtains water from a variety of sources, including groundwater, the Chino Desalter and the State Water Project. Leaving these homes on septic or connection of these homes to the District’s public sewer does not change the water quality of the District since the District doesn’t currently have wells in the area.

The District requested a cost estimate from the Developer (Attachment 2). The estimated cost is \$85,358 which does not include the cost of obtaining the easements to construct these laterals (It should be noted the Developer has not requested reimbursement for providing easements in favor of the District). The cost of constructing these sewer extensions is \$28,543 per home. Due to the

volatility in construction costs realized in the last few years, actual costs of this project could be 10-15% more than estimated.

If the owners of these homes decide to connect to the District's sewer the District would collect a Sewer Capacity Fee of \$5,200/unit based on the current Capacity Fee Rate adopted by the Board. Although the District could potentially collect \$15,600 ($\$5,200 \times 3$) in new EDU revenues, since the sewer extension was not included in the District's 2022 Wastewater Master Plan, the District would be disallowed from offsetting the project costs with these potential revenues. Further, if the Board does consider moving forward and constructing the sewer extension, there is no guarantee the customers would hire their own contractor to tie into the District's sewer nor pay the \$5,200 capacity fee. Additionally, this project would require funding from the District's Wastewater Operating Reserve. As of March 18, 2024, this account has a balance of \$1,502,825. Authorizing this project would earmark 5.7% [$(\$85,358 / \$1,502,825) \times 100\%$] of the current fund balance for the potential benefit of three customers. Connection to these new sewer extensions would probably only occur if the owners had a failure in their septic system and have no additional leach field area available or if the cost of installing a new leach field exceeds the cost of both constructing a new lateral from their home to connect to this District sewer extension *plus* the cost of the Sewer Capacity Fee.

The cost of constructing these extensions is more than 10% of the balance in the Wastewater Operating Reserve. Staff does not consider it prudent to use such a large percentage of this reserve fund to serve three homes which are not current sewer customers with funds generated from the monthly sewer rate paid by existing customers. For this reason, the possibility that the residents may never connect to these sewer extensions and the lack of this effort protecting the District's groundwater supply, staff considers the cost of constructing these sewer extensions to exceed the benefit of constructing them. It is possible, however, to canvas these residents to find out if they want to connect to the District's sewer and if they're willing to pay the costs of building these extensions in addition to the cost of constructing their own lateral and the payment of the Sewer Capacity Fee which could possibly be waived in this case since these homeowners would be paying to construct and then contribute this asset to the District.

ACTION:

No action taken by the Board.

The Board is conscious of getting customers off septic and connected to the system.

Further research is requested from the Board:

1. District staff will need to receive input from the developer on the cost of the easements.
2. District staff will also need input from the three affected homeowners on their willingness to tie into the system given the opportunity.
3. District staff will provide the Board more information by the April 18th Board meeting.

B. DM 2024-25: Consider At-Risk Development Agreement for Tract 37211

BACKGROUND:

The Rubidoux Community Services District (“District”) Board of Directors (“Board”) adopted the current Design and Construction Manual (“Manual”) in 2005. This Manual requires in Appendix “F” that the Tract Map for the development be approved by the City of Jurupa Valley (“City”), as successor to the County in 2011 when the City was incorporated, and recorded with Riverside County Recorder’s Office (“County Recorder”).

Within the City and District, a tract of homes is under development by Sequanota Venture LLC, (“Developer”) which is Tract 37211. The project, currently called Sequanota Heights, includes 48 detached single family residential lots and is located west of Pacific Avenue between the State Highway 60 and Canal Street and Opal Street. The Tract Map for this development has not yet been approved by the City and therefore has not yet been recorded with the County Recorder. The Developer desires however to start construction on this project prior to approval and recording of the Tract Map. The City has permitted the Developer to start grading the proposed streets and building pads and the next step in construction is to install the Water and Sewer Pipelines (“Pipelines”).

As the District’s Manual requires the Tract Map be recorded, technically the District cannot allow construction of the Pipelines at this time. Since the Manual is a legally adopted document by the Board, staff considers it appropriate to create an Agreement with the Developer to start construction and to bring the Agreement to the Board for approval before signing the Agreement.

This Agreement is attached to this Director’s Memorandum and includes provisions placing the Developer at their own risk in constructing the Pipelines in that the installation of the Pipelines does not create a vested interest that the Tract Map will be recorded in its present configuration and that if changes are made to the location of the streets wherein the Pipelines are placed the Developer will have to relocate the Pipelines at their own cost.

Pending Sale and Joinder

The Developer has entered into joint escrow to sell this project to Richmond American Homes of Maryland, Inc. (“Richmond”) whereupon the Developer has agreed to convey Tract 37211 to Richmond upon close of escrow. This is addressed in the recitals of the Agreement and also by a Joinder Signatory Page signed by an appropriate representative of Richmond in the Agreement. When the sale goes through, Richmond will assume all responsibility under the terms of the Agreement as outlined therein and then become the Developer as defined by the Agreement. The Agreement also allows for assignment of the Agreement to another developer if agreed to in writing by the District.

As Richmond will have already agreed to assume the Agreement and will become the Developer by definition and the District agrees to this, a simple assignment will be done by staff with assistance of District General Counsel at the time this happens.

If the escrow does not go through, Sequanota Venture LLC will remain the Developer by definition, remain responsible for the terms of the Agreement and any assignment other than to Richmond will be brought back to the Board for approval to become effective.

Coordination

Staff and District Counsel John Harper have coordinated with Sequanota Venture LLC and Richmond in the development of the attached Agreement and recommend the Board of Directors consider its approval.

ACTION:

Director Murphy moved, and Director Skerbelis seconded to approve to authorize the General Manager to:

Sign the agreement titled “AT RISK CONSTRUCTION AGREEMENT WATER AND SEWER SYSTEM IMPROVEMENTS TRACT NO. 37211 (Sequanota Heights)” between the District and Developer(s).

Roll call:

Ayes – 4
Noes – 0
Abstain – 0
Absent – 1

The motion was carried 4-0-0-1.

****Director Muniz was unavailable to vote.*

C. DM 2024-26: Consider Proposal from Albert A. Webb Associates for Engineering Services for the Jurupa Hills Force Main Replacement Alignment Study

BACKGROUND:

The Rubidoux Community Services District (“District”) has lift stations and associated several forced mains within the District. Lift stations are located in areas of the wastewater collection system that are below the invert elevation of the wastewater collection pipelines which continue gravity flow to the District’s main lift station, the Regional Lift Station which conveys wastewater from the District to the Riverside Wastewater Treatment Plant. Each lift station pumps the wastewater through what is called a forced main under pressure. One such of these lift stations and associated forced main are called the Jurupa Hills Lift Station and the Jurupa Hills Forced Main.

The exact alignment of the Jurupa Hills Forced Main is not known even though the District attempted to locate it when rebuilding the Jurupa Hills Lift Station in 2020. Staff desires to determine its exact alignment in consideration of its replacement and received a proposal from Albert A. Webb Associates (“Webb”) to perform this task. The replacement of this force main may have unavoidable impacts to the back yard improvements with some of the homes within Tract 4560 if it is replaced in the same alignment. There are two other potential alignments, but both require additional easements. The first is within the Jurupa Hills Country Club golf course along an existing access road and the second is within Candlelight Drive, Cross River Drive and possibly Linares Ave, however work would be required within one residential lot.

Webb's proposal is to present several options to the District for consideration on possible relocation of the forced main. Additionally, Webb will prepare a conceptual force main plan for the replacement along three different alignments. One of the key issues is access to the existing easement for the existing force main. It appears that it will be difficult to construct a new force main within the existing 10-ft wide easement without encroaching into the residential parcels or into the neighboring golf course property. Issues with each alignment will be identified such as easements required, impact on existing properties, pavement repairs, feasibility of construction, length, and cost. This would come in the form of a Technical Memorandum. Webb's proposal for this work is \$37,604.

The District anticipated this work in preparation of the F.Y. 2023|2024 Budget and included \$200,000 for this effort in line 2 of the Sewer Replacement Project Budget. No budget amendment is necessary. Staff recommends a contingency of \$5,396 (~14%), authorizing a total project cost of \$43,000, and issuing a Task Order to Webb for this work for a not to exceed amount of \$37,604 with any expenditure over \$37,604 subject to prior Staff approval. It should also be noted that the District will need to prepare construction documents to go out to bid on this project if the decision is made to replace the existing forced main. This will be brought to the Board for consideration at a future date if it is deemed necessary to replace the forced main.

ACTION:

Director Murphy moved, and Director Trowbridge seconded to approve to authorize the General Manager to:

1. Utilize \$43,000 of funds in line 2 of the F.Y. 2023|2024 Sewer Replacement Project Budget for this effort.
2. Issue a Task Order to Albert A. Webb Associates in the not to exceed amount of \$37,604 to prepare a Technical Memorandum Replacement Alignment Study for the Jurupa Hills Forced Main.

Roll call:

Ayes – 4

Noes – 0

Abstain – 0

Absent – 1

The motion was carried 4-0-0-1.

****Director Muniz was unavailable to vote.*

BREAK at 4:57 PM

D. CLOSED SESSION at 5:01 PM: Pursuant to Government Code Section 54956.9:
Legal Counsel Status on Litigation Case No. CIVDS 1310520, City of Riverside vs. Rubidoux Community Services District

RESUME FROM CLOSED SESSION: 5:08 PM. No comments to report back on.

ITEM 9. DIRECTOR'S COMMENTS AND REQUESTS

Director Murphy commented on the development project associated with Rubidoux Commerce Park. Mary Madrigal, RCSD customer, is having issues with the street flooding occurring on 25th Street and Van Dell Road. The Rubidoux Commerce Park development would help solve the issue Ms. Madrigal is having. Director Murphy is going to continue assisting her with the issue and continue reporting back to the Board. Director Muniz commented on the City of Riverside litigation case. Director Trueba, Director Trowbridge, and Director Skerbelis had no comment.

ITEM 10. NEXT MEETING

Thursday, April 4, 2024, at 4:00 P.M.

ITEM 11. ADJOURNMENT

President Skerbelis adjourned the meeting at 5:11 P.M.

6. **CONSENT CALENDAR** (continued)

B. Consideration to Approve April 5, 2024, Salaries, Expenses and Transfers

RUBIDOUX COMMUNITY SERVICES DISTRICT
 APRIL 4, 2024 (BOARD MEETING)
FUND TRANSFER AUTHORIZATION

NET PAYROLL 4/12/24	84,600.00
WIRE TRANSFER: FEDERAL PAYROLL TAXES 4/15/24	30,000.00
WIRE TRANSFER: STATE PAYROLL TAXES 4/15/24	6,300.00
WIRE TRANSFER: TO CREDIT UNION	5,400.00
WIRE TRANSFER: PERS RETIREMENT	23,000.00
WIRE TRANSFER: PERS HEALTH PREMIUMS	47,866.15
WIRE TRANSFER: PERS RETIRED HEALTH PREMIUMS AND FEES	1,949.90
WIRE TRANSFER: SECTION 125	299.99
WIRE TRANSFER: SECTION 457 AND 401(A)	2,100.00

CHECKING ACCOUNT TRANSFERS FOR ACCOUNTS PAYABLE:

3/22/2024 WATER FUND TO GENERAL FUND-Payables	139,610.49
WATER FUND TO GENERAL FUND-Trash	232,275.50
WATER FUND TO SEWER FUND	148,881.02
SEWER FUND TO GENERAL FUND-Payables	175,642.36

INTERFUND TRANSFERS:

3/22/2024 SEWER FUND CHECKING TO LAIF SEWER OP	800.00
SEWER FUND CHECKING TO LAIF SEWER ML	5,200.00
LAIF SEWER OP TO SEWER FUND CHECKING	27,000.00
LAIF SEWER ML TO LAIF SEWER OP	1,214.89
GENERAL FUND PROP TAX TO GENERAL FUND CHECKING	13,961.68
GENERAL FUND CHECKING TO SEWER FUND CHECKING	5,200.00
LAIF PROPERTY TAX TO GENERAL FUND CHECKING	1,005,000.00
WATER FUND CHECKING TO GENERAL FUND CHECKING	16,438.00
LAIF WATER ML TO LAIF WATER OPS	6,328.16
LAIF WATER OP TO WATER FUND CHECKING	147,000.00

NOTES PAYABLE

<u>DESCRIPTION</u>	<u>BALANCE</u>	<u>PAYMENT</u>	<u>DUE DATE</u>
U.S. Bank Trust (1998 COP's Refunding)	690,000 Prin.	690,000	Dec-24
U.S. Bank Trust (1998 COP's Refunding)	35,190 Intr.	17,595	Jun-24
MN Plant-State Revolving Loan	3,193,541 Prin.	141,050	Jul-24
MN Plant-State Revolving Loan	448,418 Intr.	41,048	Jul-24
2022 Obligations	3,261,158 Prin.	320,355	Jul-24
2022 Obligations	467,492 Intr.	49,733	Jul-24

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Tr. #	Vendor	Inv Date	Paid Out	Immediate	Credit Card Vendor	Due Date	Discount Date	Invoice #
PO Number		Inv Date	Immediate GL Account	Check #		Due Date	Discount Date	Discount
GL Date		Immediate GL Account		Credit Card	CC Reference #		Payment Date	Total Invoice
1	ACTION PLUMBING SUPPLY, LLC / Action Plumbing Su							015579
	CONCRETE MIX	03/08/2024	N	N		04/07/2024	03/08/2024	\$0.00
04/04/2024				N				\$395.41
2	AQUA METRIC SALES / AQUA METRIC SALES CO							INV0100465
	3/4" METERS	03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$11,349.85
3	AIRESPRING / AIRESPRING							183005623
	PHN CHGRS	03/16/2024	N	N		04/15/2024	03/16/2024	\$0.00
04/04/2024				N				\$486.86
4	A&G SERVICES, INC / A&G INSTRUMENT SERVICE &							39386
	METER TEST	02/07/2024	N	N		04/08/2024	02/07/2024	\$0.00
04/04/2024				N				\$736.00
5	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40551-0267
	WTR ANALYSES	03/11/2024	N	N		04/10/2024	03/11/2024	\$0.00
04/04/2024				N				\$85.44
6	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40559-0267
	WTR ANALYSES	03/11/2024	N	N		04/04/2024	03/11/2024	\$0.00
04/04/2024				N				\$48.00
7	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40568-0267
	WTR ANALYSES	03/11/2024	N	N		04/10/2024	03/11/2024	\$0.00
04/04/2024				N				\$62.00
8	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40657-0267
	WTR ANALYSES	03/12/2024	N	N		04/11/2024	03/12/2024	\$0.00
04/04/2024				N				\$3,805.00
9	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40669-0267
	WTR ANALYSES	03/12/2024	N	N		04/11/2024	03/12/2024	\$0.00
04/04/2024				N				\$1,733.00
10	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40853-0267
	WTR ANALYSES	03/14/2024	N	N		04/13/2024	03/14/2024	\$0.00
04/04/2024				N				\$1,925.00
11	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40855-0267
	WTR ANALYSES	03/14/2024	N	N		04/13/2024	03/14/2024	\$0.00
04/04/2024				N				\$200.00
12	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40856-0267
	WTR ANALYSES	03/14/2024	N	N		04/13/2024	03/14/2024	\$0.00
04/04/2024				N				\$40.00
13	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC40857-0267
	WTR ANALYSES	03/14/2024	N	N		04/13/2024	03/14/2024	\$0.00
04/04/2024				N				\$20.00
14	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41066-0267
	WTR ANALYSES	03/18/2024	N	N		03/17/2024	03/18/2024	\$0.00
04/04/2024				N				\$84.00
15	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41073-0267
	WTR ANALYSES	03/18/2024	N	N		04/17/2024	03/18/2024	\$0.00
04/04/2024				N				\$145.00
16	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41076-0267
	WTR ANALYSES	03/18/2024	N	N		03/17/2024	03/18/2024	\$0.00
04/04/2024				N				\$90.00

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Tr. #	Vendor	Inv Date	Paid Out	Immediate	Credit Card Vendor	Due Date	Discount Date	Invoice #
PO Number		Inv Date	Immediate GL Account	Check #		Due Date	Discount Date	Discount
GL Date		Immediate GL Account		Credit Card	CC Reference #		Payment Date	Total Invoice
17	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41105-0267
WTR ANALYSES		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$550.00
18	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41107-0267
WTR ANALYSES		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$550.00
19	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41108-0267
WTR ANALYSES		03/19/2024	N	N		03/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$79.24
20	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41167-0267
WTR ANALYSES		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$84.00
21	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41169-0267
WTR ANALYSES		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$14.00
22	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41173-0267
WTR ANALYSES		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$252.00
23	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41181-0267
WTR ANALYSES		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$42.00
24	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41188-0267
WTR ANALYSES		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$144.00
25	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41193-0267
WTR ANALYSES		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$336.00
26	CHASE CARD SERVICES / CHASE CARD SERVICES							24M77049795.A
GENERAL OFFICE EXP.		03/17/2024	N	N		04/11/2024	03/17/2024	\$0.00
04/04/2024				N				\$875.38
27	CHASE CARD SERVICES / CHASE CARD SERVICES							24M77049795.B
OFFICE SUPPLIES		03/17/2024	N	N		04/11/2024	03/17/2024	\$0.00
04/04/2024				N				\$1,977.92
28	CHASE CARD SERVICES / CHASE CARD SERVICES							24M77049795.C
GASOLINE EXPENSE		03/17/2024	N	N		04/11/2024	03/17/2024	\$0.00
04/04/2024				N				\$74.75
29	CHASE CARD SERVICES / CHASE CARD SERVICES							24M77049795.D
COMPUTER MISC. HARDW		03/17/2024	N	N		04/11/2024	03/17/2024	\$0.00
04/04/2024				N				\$223.65
30	CHASE CARD SERVICES / CHASE CARD SERVICES							24M77049795.E
EMPLOYEE EDUCATION		03/17/2024	N	N		04/11/2024	03/17/2024	\$0.00
04/04/2024				N				\$139.50
31	CHASE CARD SERVICES / CHASE CARD SERVICES							24M77049795.F
R&M VEHICLE		03/17/2024	N	N		04/11/2024	03/17/2024	\$0.00
04/04/2024				N				\$58.77
32	CHASE CARD SERVICES / CHASE CARD SERVICES							24M77049795.G
R&M WATER SYSTEM		03/17/2024	N	N		04/11/2024	03/17/2024	\$0.00
04/04/2024				N				\$3,075.50

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33	CHASE CARD SERVICES / CHASE CARD SERVICES							24M77049795.H
	REGULATORY FEES	03/17/2024	N	N			04/11/2024 03/17/2024	\$0.00
04/04/2024					N			\$450.00
34	CRITERION AUTOMATION, INC. / CRITERION AUTOM/							2403-2694
	PLC PANEL	03/13/2024	N	N			04/12/2024 03/13/2024	\$0.00
04/04/2024					N			\$1,402.00
35	C WELLS / C. WELLS PIPELINE MATLS, INC							SINV24-1338
	PARTS	03/18/2024	N	N			04/17/2024 03/18/2024	\$0.00
04/04/2024					N			\$652.50
36	C WELLS / C. WELLS PIPELINE MATLS, INC							SINV24-1654
	PARTS	03/18/2024	N	N			04/17/2024 03/18/2024	\$0.00
04/04/2024					N			\$652.50
37	C WELLS / C. WELLS PIPELINE MATLS, INC							SINV24-1655
	PARTS	03/18/2024	N	N			04/17/2024 03/18/2024	\$0.00
04/04/2024					N			\$202.28
38	CUBURN EQUIPMENT INC / CUBURN EQUIPMENT INC							15130013-03
	HYD MTR RFND	03/21/2024	N	N			04/20/2024 03/21/2024	\$0.00
04/04/2024					N			\$2,734.13
39	ERNEST PACKAGING SOLUTIONS / ERNEST PACKAG							80829682
	55&33 GAL TRHS BAGS	03/14/2024	N	N			04/13/2024 03/14/2024	\$0.00
04/04/2024					N			\$4,063.42
40	FERGUSON / FERGUSON ENTERPRISE INC #1350							0848826
	3/4" METER	03/14/2024	N	N			04/13/2024 03/14/2024	\$0.00
04/04/2024					N			\$1,222.96
41	FERGUSON / FERGUSON ENTERPRISE INC #1350							3493958
	WTR PMP HOSE	03/19/2024	N	N			04/18/2024 03/19/2024	\$0.00
04/04/2024					N			\$38.85
42	FERGUSON / FERGUSON ENTERPRISE INC #1350							0844149
	TOOLS	03/20/2024	N	N			04/19/2024 03/20/2024	\$0.00
04/04/2024					N			\$652.49
43	GRAINGER / GRAINGER							9056262463
	SUPPLIES	03/18/2024	N	N			04/17/2024 03/18/2024	\$0.00
04/04/2024					N			\$28.48
44	GRAINGER / GRAINGER							9061366242
	PALLET JACK	03/21/2024	N	N			04/20/2024 03/21/2024	\$0.00
04/04/2024					N			\$430.58
45	HACH CO. / HACH COMPANY							13949046
	ANALYTICAL INST.	03/06/2024	N	N			04/05/2024 03/06/2024	\$0.00
04/04/2024					N			\$1,805.90
46	HARRINGTON INDUSTRIAL / HARRINGTON INDUSTRI							012M9938
	PVC	03/15/2024	N	N			04/14/2024 03/15/2024	\$0.00
04/04/2024					N			\$234.49
47	HOME DEPOT / HOME DEPOT CREDIT SERVICES							020981/7510697
	SUPPLIES	03/20/2024	N	N			04/19/2024 03/20/2024	\$0.00
04/04/2024					N			\$79.96
48	KH METALS / KH METALS & SUPPLY							0664524-IN
	SUPPLIES	03/19/2024	N	N			04/18/2024 03/19/2024	\$0.00
04/04/2024					N			\$31.17

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49	KH METALS / KH METALS & SUPPLY							0664635-IN
SUPPLIES		03/20/2024	N	N			04/19/2024 03/20/2024	\$0.00
04/04/2024					N			\$58.41
50	KH METALS / KH METALS & SUPPLY							0664777-IN
SUPPLIES		03/21/2024	N	N			04/20/2024 03/21/2024	\$0.00
04/04/2024					N			\$30.60
51	LILLESTRAND / LILLESTRAND LEADERSHIP CONSUL							7969
CNSLT BECK/VALD		03/15/2024	N	N			04/14/2024 03/15/2024	\$0.00
04/04/2024					N			\$1,000.00
52	MASTER'S / MASTER'S SERVICES (GLACIER)							000000968883
BTL WTR		03/12/2024	N	N			04/11/2024 03/12/2024	\$0.00
04/04/2024					N			\$73.75
53	MERIT OIL / MERIT OIL COMPANY							832256
GASOLINE		03/13/2024	N	N			03/28/2024 03/13/2024	\$0.00
04/04/2024					N			\$2,074.66
54	MERIT OIL / MERIT OIL COMPANY							833375
DIESEL		03/18/2024	N	N			04/02/2024 03/18/2024	\$0.00
04/04/2024					N			\$485.31
55	MITAINA CHRISTOPHER / MITAINA CHRISTOPHER							0004
R&M EQUIP		02/07/2024	N	N			03/08/2024 02/07/2024	\$0.00
04/04/2024					N			\$1,662.18
56	MITAINA CHRISTOPHER / MITAINA CHRISTOPHER							0002
R&M EQUIP		01/24/2024	N	N			02/23/2024 01/24/2024	\$0.00
04/04/2024					N			\$495.45
57	MORENO, PAUL / MORENO, PAUL							20240312
CLASS A PHYSICAL		03/12/2024	N	N			04/11/2024 03/12/2024	\$0.00
04/04/2024					N			\$191.00
58	PIPE TEC, INC. / PIPE TEC, INC							11881
HYDROWASH		12/19/2023	N	N			01/18/2024 12/19/2023	\$0.00
04/04/2024					N			\$3,050.00
59	PIPE TEC, INC. / PIPE TEC, INC							11882
LINE CLEANING		12/19/2023	N	N			01/18/2024 12/19/2023	\$0.00
04/04/2024					N			\$3,212.50
60	PIPE TEC, INC. / PIPE TEC, INC							11883
HYDROWASH		12/21/2023	N	N			01/20/2024 12/21/2023	\$0.00
04/04/2024					N			\$3,050.00
61	QUADIENT / QUADIENT LEASING USA, INC.							Q1239004
PSTG MACHINE		03/09/2024	N	N			04/10/2024 03/09/2024	\$0.00
04/04/2024					N			\$471.94
62	RELIABLE / RELIABLE WORKPLACE SOLUTIONS							RWS24030004
COPIER USG		03/15/2024	N	N			04/14/2024 03/15/2024	\$0.00
04/04/2024					N			\$281.14
63	RELIABLE / RELIABLE WORKPLACE SOLUTIONS							RWS24030005
COPIER USG		03/15/2024	N	N			04/14/2024 03/15/2024	\$0.00
04/04/2024					N			\$172.65
64	RELIABLE / RELIABLE WORKPLACE SOLUTIONS							RWS24030028
COPIER USG		03/15/2024	N	N			04/14/2024 03/15/2024	\$0.00
04/04/2024					N			\$46.18

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65	RIVERSIDE CITY / RIVERSIDE CITY							00275682.A
FEB.24"	SURCHARGE	03/14/2024	N	N			04/14/2024 03/14/2024	\$0.00
04/04/2024					N			\$21,782.25
66	RIVERSIDE CITY / RIVERSIDE CITY							00275682.B
FEB.24"	TRTMNT	03/14/2024	N	N			04/14/2024 03/14/2024	\$0.00
04/04/2024					N			\$127,558.20
67	RIVERSIDE COUNTY CDF / RIVERSIDE COUNTY CDF							235302
Q2 FY 23/24		03/05/2024	N	N			04/04/2024 03/05/2024	\$0.00
04/04/2024					N			\$791,315.74
68	RIVCOMM / RIVCOMM, INC.							25725
R&M TRUCK		03/14/2024	N	N			04/13/2024 03/14/2024	\$0.00
04/04/2024					N			\$1,975.99
69	ROYAL INDUSTRIAL / ROYAL INDUSTRIAL SOLUTION:							6441-1117058
SUPPLIES		03/21/2024	N	N			04/20/2024 03/21/2024	\$0.00
04/04/2024					N			\$300.87
70	SCE / SCE							24M700158802582
WTR PMP ENRGY		03/18/2024	N	N			04/08/2024 03/18/2024	\$0.00
04/04/2024					N			\$7,248.41
71	SCE / SCE							24M700044576190
SWR PMP ENRGY		03/18/2024	N	N			04/08/2024 03/18/2024	\$0.00
04/04/2024					N			\$1,228.81
72	SCE / SCE							24M700767086653
5473 UTILITY		03/18/2024	N	N			04/08/2024 03/18/2024	\$0.00
04/04/2024					N			\$246.14
73	SCE / SCE							24M700609292713
WTR PMP ENRGY		03/18/2024	N	N			04/08/2024 03/18/2024	\$0.00
04/04/2024					N			\$239.49
74	SCE / SCE							24M700179651118
SWR PMP ENRGY		03/19/2024	N	N			04/08/2024 03/19/2024	\$0.00
04/04/2024					N			\$447.13
75	SCE / SCE							24M700136714571
WTR PMP ENRGY		03/19/2024	N	N			04/08/2024 03/19/2024	\$0.00
04/04/2024					N			\$4,074.78
76	SOCAL TRUCK / SOCAL TRUCKWORKS							13757
R&M TRUCK		03/01/2024	N	N			03/31/2024 03/01/2024	\$0.00
04/04/2024					N			\$78.00
77	SOCAL TRUCK / SOCAL TRUCKWORKS							13795
R&M TRUCK		03/15/2024	N	N			04/14/2024 03/15/2024	\$0.00
04/04/2024					N			\$239.88
78	SOCAL TRUCK / SOCAL TRUCKWORKS							13815
R&M TRUCK		03/22/2024	N	N			04/21/2024 03/22/2024	\$0.00
04/04/2024					N			\$393.02
79	SHRED-IT / SHRED-IT USA							8006375895
SHREDDING		02/29/2024	N	N			03/30/2024 02/29/2024	\$0.00
04/04/2024					N			\$73.94
80	STEPSAVER / STEP-SAVER CA.LLC							CT468660
SALT		03/20/2024	N	N			04/19/2024 03/20/2024	\$0.00
04/04/2024					N			\$5,137.25

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81	TRUSSELL TECHNOLOGIES / TRUSSELL TECHNOLOGI							000009688
WELL8 MAGANESE		03/14/2024	N	N		04/13/2024	03/14/2024	\$0.00
04/04/2024				N				\$2,377.50
82	UNIVAR SOLUTIONS / UNIVAR SOLUTIONS							51941109
SODIUM HYPO		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$6,108.36
83	VULCAN MATERIALS / CALMAT Dba VULCAN MATERI							73928621
CL2 BASE		02/29/2024	N	N		03/15/2024	02/29/2024	\$0.00
04/04/2024				N				\$713.47
84	YAHUALICA'S TIRES & WHEELS / YAHUALICA'S TIRES							11153
R&M TRUCK		01/18/2024	N	N		02/17/2024	01/18/2024	\$0.00
04/04/2024				N				\$8.00
85	YAHUALICA'S TIRES & WHEELS / YAHUALICA'S TIRES							11458
R&M TRUCK		02/22/2024	N	N		03/23/2024	02/22/2024	\$0.00
04/04/2024				N				\$8.00
86	YAHUALICA'S TIRES & WHEELS / YAHUALICA'S TIRES							11534
R&M TRUCK		02/29/2024	N	N		03/30/2024	02/29/2024	\$0.00
04/04/2024				N				\$590.00
87	YAHUALICA'S TIRES & WHEELS / YAHUALICA'S TIRES							11649
R&M TRUCK		03/12/2024	N	N		04/11/2024	03/12/2024	\$0.00
04/04/2024				N				\$12.00
88	YAHUALICA'S TIRES & WHEELS / YAHUALICA'S TIRES							11756
R&M TRUCK		03/19/2024	N	N		04/18/2024	03/19/2024	\$0.00
04/04/2024				N				\$10.00
89	ALEXANDERS / ALEXANDER'S METER READING SOL							1537A
ROUTE MGR/PROBE SUPT		02/29/2024	N	N		03/30/2024	02/29/2024	\$0.00
04/04/2024				N				\$1,766.00
90	JADTEC SECURITY / JADTEC SECURITY SVCS, INC.							2447747
FILED OFC MONITORING		04/01/2024	N	N		05/01/2024	04/01/2024	\$0.00
04/04/2024				N				\$53.85
91	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49440
WTR CNSLT		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$6,470.25
92	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49441
WSTE WTR CNSLT		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$219.00
93	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49442
PRETRTMNT		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$7,182.64
94	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49443
AGUA/COMM PK37528		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$433.25
95	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49444
EMRLD RDGE 37640		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$337.75
96	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49445
SADDLEHORN TRACK3817		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$2,157.25

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97	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49446
RCSD TRACK 32721		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$845.75
98	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49447
JURUPA VALLEY TRACK3		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$1,213.25
99	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49448
3742 RIVERVIEW		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$158.25
100	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49449
MISSION VILLAGE		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$273.75
101	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49450
WTR CNSLT		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$6,250.20
102	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49451
CCR		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$11,257.50
103	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49452
WILSON W/WD INTERCT		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$2,683.50
104	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49453
THOMPSON FILT SYST		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$3,663.20
105	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49454
SWR MANAGEMENT PLAN		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$471.50
106	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49455
2023 MANUAL		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$20,458.45
107	KRIEGER & STEWART / KRIEGER & STEWART, INC.							49456
WTR SWR CND ASSMT		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024				N				\$4,859.55
108	RELIABLE / RELIABLE WORKPLACE SOLUTIONS							RWS23120008
COPIER USG		12/15/2023	N	N		01/14/2024	12/15/2023	\$0.00
04/04/2024				N				\$35.48
109	RELIABLE / RELIABLE WORKPLACE SOLUTIONS							RWS23120019
COPIER USG		12/15/2023	N	N		01/14/2024	12/15/2023	\$0.00
04/04/2024				N				\$5.20
110	RELIABLE / RELIABLE WORKPLACE SOLUTIONS							RWS23120051
COPIER USG		12/15/2023	N	N		01/14/2024	12/15/2023	\$0.00
04/04/2024				N				\$187.25
111	RELIABLE / RELIABLE WORKPLACE SOLUTIONS							RWS23120052
COPIER USG		12/15/2023	N	N		01/14/2024	12/15/2023	\$0.00
04/04/2024				N				\$63.00
112	RCSD PETTY CASH / RCSD							20240326
PETTY CASH REINBURSE		03/26/2024	N	N		04/25/2024	03/26/2024	\$0.00
04/04/2024				N				\$288.28

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AP Enter Bills Edit Report
Rubidoux Community Services District (RCSACT)
Batch: AAAAXH

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Tr. #	Vendor	Inv Date	Paid Out	Immediate	Credit Card Vendor	Due Date	Discount Date	Invoice #
PO Number		Inv Date	Immediate GL Account	Check #		Due Date	Discount Date	Discount
GL Date		Immediate GL Account		Credit Card	CC Reference #		Payment Date	Total Invoice
113	SCE / SCE							24M700456862263.A
FIELD OFC UTLTY		03/21/2024	N	N		04/10/2024	03/21/2024	\$0.00
04/04/2024					N			\$184.70
114	SCE / SCE							24M700456862263.B
WTR PMP ENRGY		03/21/2024	N	N		04/10/2024	03/21/2024	\$0.00
04/04/2024					N			\$24,242.16
115	SCE / SCE							24M700456862263.C
NO.03 PLT PMP ENRGY		03/21/2024	N	N		04/10/2024	03/21/2024	\$0.00
04/04/2024					N			\$10,894.47
116	TKE ENGINEERING / TKE ENGINEERING, INC.							2024-138
ANNEXATION CNSLT		03/08/2024	N	N		04/07/2024	03/08/2024	\$0.00
04/04/2024					N			\$20,547.50
117	TRI-CO DISPOSAL INC / TRI-CO DISPOSAL, INC							0314-032524.A
COMM TRSH		03/26/2024	N	N		04/25/2024	03/26/2024	\$0.00
04/04/2024					N			\$67,601.49
118	TRI-CO DISPOSAL INC / TRI-CO DISPOSAL, INC							0314-032524.B
RES TRSH		03/26/2024	N	N		04/25/2024	03/26/2024	\$0.00
04/04/2024					N			\$164,674.01
119	TRI-CO DISPOSAL INC / TRI-CO DISPOSAL, INC							0314-032524.C
RCSD SHR COMM		03/26/2024	N	N		04/25/2024	03/26/2024	\$0.00
04/04/2024					N			(\$9,464.21)
120	TRI-CO DISPOSAL INC / TRI-CO DISPOSAL, INC							0314-032524.D
RCSD SHR RES		03/26/2024	N	N		04/25/2024	03/26/2024	\$0.00
04/04/2024					N			(\$5,511.15)
121	TRI-CO DISPOSAL INC / TRI-CO DISPOSAL, INC							0314-032524.E
BILLING FEE		03/26/2024	N	N		04/25/2024	03/26/2024	\$0.00
04/04/2024					N			(\$3,000.00)
122	ACTION PLUMBING SUPPLY, LLC / Action Plumbing Su							015754
COPPER		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024					N			\$2,247.10
123	DURNEY DON / DURNEY, DON							20240325
GRDNG/WD ABATE		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$2,542.50
124	HARRINGTON INDUSTRIAL / HARRINGTON INDUSTRI							012N0072
PARTS		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$428.34
125	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41345-0267
WTR ANALYSES		03/20/2024	N	N		04/19/2024	03/20/2024	\$0.00
04/04/2024					N			\$84.00
126	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41347-0267
WTR ANALYSES		03/20/2024	N	N		04/19/2024	03/20/2024	\$0.00
04/04/2024					N			\$21.00
127	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41396-0267
WTR ANALYSES		03/21/2024	N	N		04/20/2024	03/21/2024	\$0.00
04/04/2024					N			\$40.00
128	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41397-0267
WTR ANALYSES		03/21/2024	N	N		04/20/2024	03/21/2024	\$0.00
04/04/2024					N			\$200.00

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Tr. #	Vendor	Inv Date	Paid Out	Immediate	Credit Card Vendor	Due Date	Discount Date	Invoice #
PO Number		Inv Date	Immediate GL Account	Check #		Due Date	Discount Date	Discount
GL Date		Immediate GL Account		Credit Card	CC Reference #		Payment Date	Total Invoice
129	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41401-0267
WTR ANALYSES		03/21/2024	N	N		04/20/2024	03/21/2024	\$0.00
04/04/2024					N			\$620.78
130	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41428-0267
WTR ANALYSES		03/21/2024	N	N		04/20/2024	03/21/2024	\$0.00
04/04/2024					N			\$1,210.00
131	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41451-0267
WTR ANALYSES		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024					N			\$20.00
132	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41548-0267
LAB FEES		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$787.01
133	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41549-0267
WTR ANALYSES		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$3,575.00
134	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41603-0267
WTR ANALYSES		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$62.00
135	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41607-0267
WTR ANALYSES		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$90.00
136	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41619-0267
WTR ANALYSES		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$48.00
137	BABCOCK E S SONS INC / BABCOCK, E S & SONS, IN							CC41621-0267
WTR ANALYSES		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$42.00
138	ELROD / ELROD FENCE CO. INC							19737
5473 MISSION		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$505.00
139	REDWING / REDWING SHOES							314-1-44807
BOOTS/MANRIQUE		03/20/2024	N	N		04/19/2024	03/20/2024	\$0.00
04/04/2024					N			\$175.00
140	SOCAL JCB / SOCAL JCB							WO6956
R&M TRUCK		03/22/2024	N	N		04/21/2024	03/22/2024	\$0.00
04/04/2024					N			\$1,982.07
141	SOCAL TRUCK / SOCAL TRUCKWORKS							13821
R&M TRUCK		03/25/2024	N	N		04/24/2024	03/25/2024	\$0.00
04/04/2024					N			\$211.48

Grand Totals

Total Direct Expense: \$1,407,256.69
Total Direct Expense Adj: (\$17,975.36)
Total Non-Electronic Transactions: \$1,389,281.33

Report Summary

Report Selection Criteria
Report Type: Condensed
Start **End**
Transaction Number: Start End

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3/27/24

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6. **CONSENT CALENDAR** (continued)

- C. **DM 2024-27**: Consider Assignment of Participation Agreement for Tract 33617 (Stockdale Court) from JRC Rubidoux Industrial Land Owner, LLC (“Developer”) to Britcher Anderson Davis Associates Incorporated

Rubidoux Community Services District

Board of Directors

John Skerbelis, President
Hank Trueba Jr., Vice President
Bernard Murphy
Armando Muniz
F. Forest Trowbridge

General Manager

Brian R. Laddusaw



Water Resource Management Refuse Collection Street Lights Fire / Emergency Services Weed Abatement

DIRECTORS MEMORANDUM 2024-27

April 4, 2024

To: Rubidoux Community Services District
Board of Directors

Subject: Consider Assignment of Participation Agreement for Tract 33617 (Stockdale Court) from JRC Rubidoux Industrial Land Owner, LLC (“Developer”) to Birtcher Anderson Davis Associates Incorporated

BACKGROUND:

The Rubidoux Community Services District (“District”) Board of Directors authorized the General Manager to enter into a Participation Agreement for Offsite Sewer System Improvements for Tract 33617 (Rubidoux Boulevard and 26th Street) (“Agreement”) with the Developer in July 2021. The Developer built a new sewer in Rubidoux Blvd. from the intersection of Stockdale Court to the terminal manhole in 26th street. As this sewer was not in the District’s Wastewater Master Plan, the Developer had to build this sewer out of its own funds. However, since this sewer has significant public benefit to the properties along its alignment, the District entered into an Agreement with the Developer to collect funds from any other developers who wish to connect to this sewer over a 10-year period after which the Agreement expires. This sewer has already proven to be a benefit to a project called West Coast Cold Storage which was under construction at about the same time as the Stockdale Court project. Although not a part of the Agreement, West Coast Cold Storage connected to this sewer and reimbursed the Developer under a separate agreement between the parties which the District is not a party.

The Agreement between the District and the Developer allows for assignment of the Agreement one time prior to December 31, 2024. As the construction of the project is complete, the Developer is dissolving the LLC and will no longer exist. For this reason, the Developer has exercised the assignment option of the original Agreement and desires to assign the Agreement to a related company called Bircher Anderson Davis Associates, Incorporated, a California Corporation. The assignment document as well as the original Agreement are attached to this Directors Memorandum for reference.

Staff has no objection to this assignment as it is to a related company and is allowed under the terms of the original Agreement. Furthermore, no District funds are involved as the original Developer built the sewer with

its own funds and dedicated it to the District when it was complete. The Agreement only creates a mechanism whereupon the District will collect funds from future development that can benefit from the contributed asset and transmit those funds to the original Developer or their assignee.

RECOMMENDATION:

Staff recommends the Board of Directors approve the Assignment of Participation Agreement to assign the original Participation Agreement for Offsite Sewer System Improvements for Tract 33617 (Rubidoux Boulevard and 26th Street) from JRC Rubidoux Industrial Land Owner, LLC, a Delaware Limited Liability Company to Bircher Anderson Davis Associates, Incorporated, a California Corporation and authorize the General Manager to Sign the Assignment of Participation Agreement.

Respectfully,



BRIAN R. LADDUSAW
General Manager

Attach:

1. Participation Agreement for Offsite Sewer System Improvements for Tract 33617 (Rubidoux Boulevard and 26th Street)
2. Assignment of Participation Agreement

PARTICIPATION AGREEMENT
OFFSITE SEWER SYSTEM IMPROVEMENTS
FOR TRACT NO. 33617
(Rubidoux Boulevard and 26th Street)

This Participation Agreement ("Agreement") is made by and between the RUBIDOUX COMMUNITY SERVICES DISTRICT, a public agency ("District") and DAVIS JCR RUBIDOUX INDUSTRIAL LAND OWNER LLC, a Delaware limited liability company ("Developer"). District and Developer may be collectively referred to herein as "Parties" and individually as "Party."

RECITALS

- A. **WHEREAS**, Developer has constructed Tract No. 33617, the Rubidoux Industrial Center, a five (5) lot business park development ("Project") located in the District's service area at Stockdale Court, east side of Rubidoux Blvd., approximately a half mile north of the 60 freeway; and
- B. **WHEREAS**, the Project is on 9.94 acres with 5 buildings totaling approximately 190,005 square feet inclusive of 19,500 square feet of office space; and
- C. **WHEREAS**, as part of satisfying conditions of approval set by the City of Jurupa Valley, the Developer constructed water and sewer facilities for ownership acceptance, maintenance, and operation by the District for the District to provide water and sewer service to each of the proposed lots within the Project; and

- D. **WHEREAS**, the District required the Developer at the Developer's sole expense to design, bid, and install to District standards all water and sewer facilities for the Project; and
- E. **WHEREAS**, to enable the Project to be connected to the District's existing sewer facilities the Developer was required to construct sewer facilities within Rubidoux Boulevard and 26th Street (hereinafter referred to as "Offsite Improvements"); and
- F. **WHEREAS**, as a matter of District practice when a proposed development is conditioned to design and install to District standards certain water and/or sewer facilities that are not included within the District's current Water and/or Wastewater Master Plans but those facilities can benefit other properties within a defined Area of Benefit, eligible costs for the design and installation of those facilities can be included in a participation agreement whereby the District will, for a certain amount of time, collect a proportionate share of the eligible costs of the facilities from owners of property within the defined Area of Benefit who connect to the developer installed facilities and forward collected amounts to the developer; and
- G. **WHEREAS**, the District acknowledges the Offsite Improvements installed by the Developer in Rubidoux Blvd. and 26th Street are facilities other properties within defined Areas of Benefit can benefit from if connected to and each connection made should pay a proportionate share of the eligible costs incurred by the Developer; and
- H. **WHEREAS**, the purpose of this Agreement is to describe the terms and conditions related to the District's collection

of and forwarding funds received by other property owners within the Areas of Benefit who connect to the Offsite Improvements installed by the Developer.

DEFINITIONS

District: Rubidoux Community Services District

Developer: DAVIS JCR RUBIDOUX INDUSTRIAL LAND OWNER LLC, a Delaware limited liability company

Offsite Improvements: Sewer improvements installed at the Developer's expense in Rubidoux Blvd. and 26th Street benefiting the Project and other properties within defined Areas of Benefit. These are more specifically defined in Exhibit 1 - "Offsite Improvements"

Area of Benefit: those properties who can benefit by connecting to the Offsite Improvements within a defined area. Based on physical elevations and access to streets in relation to the Developer installed Offsite Improvements in 26th Street and Rubidoux Blvd., there are two Areas of Benefit.

- A. Area of Benefit 1: properties benefiting only from the 26th Street pipeline will pay a proportionate share of costs for the 26th Street pipeline. The total acreage in Area of Benefit 1 is 96.79 acres.
- B. Area of Benefit 2: properties connecting to the pipeline in Rubidoux Blvd. will benefit from the pipeline in Rubidoux Blvd. and 26th Street and pay a proportionate share of the costs of both pipelines. The total acreage in Area of Benefit 2 is 24.6 acres.

The Areas of Benefit are more specifically defined in Exhibit 2 - "Map of Tributary Areas along with Spreadsheet of Assessor Parcel Numbers" by Tributary Area.

Eligible Costs: costs incurred by the Developer to design, bid, and install the Offsite Improvements for acceptance by the District. The requirements associated with accounting for expenses is described in Section 4 of the Terms of this Agreement. The District accepted the total value of \$729,291.63 for the Eligible Costs of the Offsite Improvements. The total of the Eligible Costs account for \$100,000 the Developer received from the owner of the West Coast Cold Storage project. The Eligible Costs are fully described in Exhibit 3 - "Eligible Costs"

Participation Amount: each property within the defined Areas of Benefit benefiting by the Offsite Improvements will pay a fair share Participation Amount of the Eligible Costs incurred by the Developer. Excluded properties from the Participation Amount include the Developer's Project and the West Coast Cold Storage Project, a total of 7.83 acres. The methodology used for this Agreement is described in Exhibit 4 - "Participation Amount Methodology"

West Coast Cold Storage: the Developer by separate agreement with the developer of the West Coast Cold Storage Project, a project near the northwest intersection of Rubidoux Blvd. and 26th Street, has received direct payment for West Coast Cold Storage connection to the Offsite Improvements. The fully executed agreement is attached and included herein as Exhibit 6.

TERMS

NOW, THEREFORE, in consideration of the mutual covenants hereinafter contained the Parties agree to as follows:

1. **Scope of Offsite Improvements.** The Parties agree the Offsite Improvements pursuant to this Agreement consist of the water and sewer facilities depicted in Exhibit 1, attached hereto and incorporated herein by reference.
2. **Design of Offsite Improvements.** Developer was solely responsible for obtaining all required federal, state and local

permits and approvals required for Developer's construction of the Offsite Improvements.

3. Construction and Installation of the Offsite Improvements

a. Construction and Installation. Developer was responsible, at its sole cost and expense, for all activities and all costs of construction and installation of the Offsite Improvements in compliance with applicable federal, state, and local laws, rules and regulations including, but not limited to CEQA and NEPA clearances, as necessary.

b. Control and Payment of Subordinates and Independent Contractor. All work was performed by Developer or by Developer's consultants and/or contractors. Developer and its consultants and contractors determined the means, methods and details of performing the work, subject to the requirements of this Agreement. All wages, salaries and other amounts due such personnel in connection with their performance of work under this Agreement and as required by law was paid by Developer or its consultants and contractors according to a process that resulted in all consultants, contractors and materialmen delivering unconditional releases of lien in connection with all amounts due to such consultants, contractors and materialmen.

4. Billings and Records. Developer maintained complete and accurate records with respect to all costs and expenses associated with the design, construction and installation of the Offsite Improvements. Developer was responsible for obtaining billings from the design professionals and contractor(s) performing construction and installation of the Offsite Improvements and for determining the accuracy thereof.

5. Inspection and Transfer of Offsite Improvements

a. Without modifying or limiting Developer's obligations under this Agreement, District inspected and tested the Offsite Improvements. The District was provided access to the work site to conduct required tests or inspections. Noted

deficiencies in the work was corrected by Developer at its sole cost and expense. At completion of the Offsite Improvements, to the reasonable satisfaction of District, the Offsite Improvements were presented to District for acceptance.

b. Acceptance of the Offsite Improvements by District was conditioned upon performance of the obligations set forth in this Agreement in regard to: (i) approval by District of the construction and installation of the Offsite Improvements; (ii) lien free completion of construction of the Offsite Improvements; and (iii) acceptance of title to the Offsite Improvements by District by way of the recordation of an applicable conveyance document. The District has accepted the Offsite Improvements and the recorded conveyance document is attached as Exhibit 5 attached hereto and incorporated herein by reference.

6. Participation Amount.

a. District and Developer agree that the costs of the Offsite Improvements are attached hereto as Exhibit 3 ("Eligible Costs"). The Eligible Costs include all direct and indirect costs and expenses incurred by Developer for the permitting, design, construction and installation of the Offsite Improvements. District and Developer agree the Project and the West Coast Cold Storage project are excluded from properties within the Areas of Benefit for determination of the Participation Amount Methodology calculations, a total of 7.83 acres. Further as detailed in Exhibit 4, the District and Developer agree the area of Area of Benefit 1 is 96.7 acres, and the area of Area of Benefit 2 is 24.6 acres. The unit Participation Amount for Area of Benefit 1 is \$2,230.11 per acre. The unit Participation Amount for Area of Benefit 2 is \$20,871.52 per acre based on the agreed upon total of the Eligible Costs as described in Exhibit 3 prorated based on benefit between the two Areas of Benefit.

b. The District shall collect Participation Amounts at the time all other District connection fees and costs are

paid from each property Owner/Developer within an Area of Benefit. The Participation Amount for each connected property will be calculated by multiplying the gross acres of the connected property times the unit Participation Amount for the Area of Benefit the property is located. So, for example a five (5) acre property connecting within Area of Benefit 1 will have a total Participation Amount of \$11,150.55 (5 acres times \$2,230.11 per acre).

c. Within sixty (60) days from receipt of Participation Amounts by the District from owners of property within an Area of Benefit, the District will reimburse to Developer such amounts received less an administrative fee of \$750.00.

d. Nothing in this Agreement shall relieve Developer, its subsidiaries, partnerships, or any other entity from the requirement to pay to the District all administrative expenses, rates, and fees which shall apply to the Project pursuant to the Rules and Regulations as the same may be revised from time to time.

7. Term. The Term of this Agreement is ten (10) years commencing with the date of the recordation of the Grant Deed indicating acceptance by the District of the Offsite Improvements. Per Exhibit 5 the recordation date was November 16, 2022 making the Term ending date November 16, 2032. The Developer and District agree after the Term ending date the District will no longer have any obligation to collect and forward Participation Amounts collected by owners of property within the Areas of Benefit.

8. General Provisions

a. Indemnification. Each Party hereby agrees to indemnify, defend, save and hold harmless the other Party and their respective officers, agents, servants and employees, of and from any liabilities, claims, demands, suits, action and cause of action arising out of or in any manner connected with any negligence or willful misconduct of such indemnifying Party,

performed in connection with such Party's duties and obligations hereunder.

b. Successors and Assigns. This Agreement shall inure to the benefit of and be binding on each of the Parties and their successors and assigns. This Agreement may be assigned by Developer once prior to December 31, 2024 with written consent of District that shall not be unreasonably withheld, otherwise the agreement shall not be assigned by the Developer without the prior written consent of District which consent shall be granted or denied in District's reasonable discretion. In the event of such an assignment, the assignees shall agree to be bound by all terms and conditions of this Agreement and may be required by District to enter into an assignment or other contractual arrangement to document said obligations.

c. Effective Date of Agreement. The Effective Date of this Agreement is the date last signed by the Parties.

e. Term and Termination. This Agreement shall expire based on Section 7 above. In the event either Party defaults in the performance of any of its obligations under this Agreement, the other Party shall have all rights and remedies available to them under the law, including without limitation, the right to terminate this Agreement upon written notice to the defaulting Party.

f. Notices. All notices permitted or required under this Agreement shall be deemed made when delivered to the applicable Party's representative as provided in this Agreement. Such notices shall be mailed or otherwise delivered to the addresses set forth below, or at such other addresses as the respective Parties may provide in writing for this purpose:

Rubidoux Community Services District
Attn: General Manager
3590 Rubidoux Blvd.

Jurupa Valley, CA 92509

Davis JCR Rubidoux Industrial Land Owner LLC

Attn: Daniel Karcher

31920 Del Obispo #260

San Juan Capistrano, CA 92675

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, certified mail, return receipt requested, to the party at its applicable address.

g. Attorneys' Fees. In the event any action is commenced to enforce or interpret any term or condition of this Agreement, in addition to costs and any other relief, the prevailing Party shall be entitled to its reasonable attorneys' fees, expert fees and other reasonable costs of defense.

h. Entire Agreement; Amendment. This Agreement contains the entire agreement of the Parties hereto with respect to the matters contained herein, and supersedes all negotiations, prior discussions and preliminary agreements or understandings, written or oral. No waiver or modification of this Agreement shall be binding unless consented to by both Parties in writing.

i. Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel, or otherwise.

j. Invalidity and Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

k. Governing Law. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County.

m. Incorporation of Recitals and Definitions. The Recitals and Definitions are incorporated herein and made an operative part of this Agreement.

n. Authority to Enter into Agreement. The Parties warrant they have all requisite power and authority to execute and perform this Agreement. Each person executing this Agreement on behalf of their Party warrants they have the legal power, right, and authority to make this Agreement and bind their respective party.

o. Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the last date indicated below.

RUBIDOUX COMMUNITY SERVICES DISTRICT

_____ Date: _____

Brian Laddusaw
Its: General Manager

ATTEST:

_____ Date: _____

John Harper
Its: General Counsel

DEVELOPER:

DAVIS JCR RUBIDOUX INDUSTRIAL
LAND OWNER LLC, a Delaware
limited liability company

By: Davis Clairmont Rubidoux LLC,
a Delaware limited liability company
Its Manager

By: Davis Rubidoux LLC, a
Delaware limited liability company
Its Managing Member

By: Robert J. Thiergartner Date: _____

Robert J. Thiergartner
Its Managing Member

EXHIBIT 1

OFFSITE IMPROVEMENTS

26th Street: 8" PVC Sewer

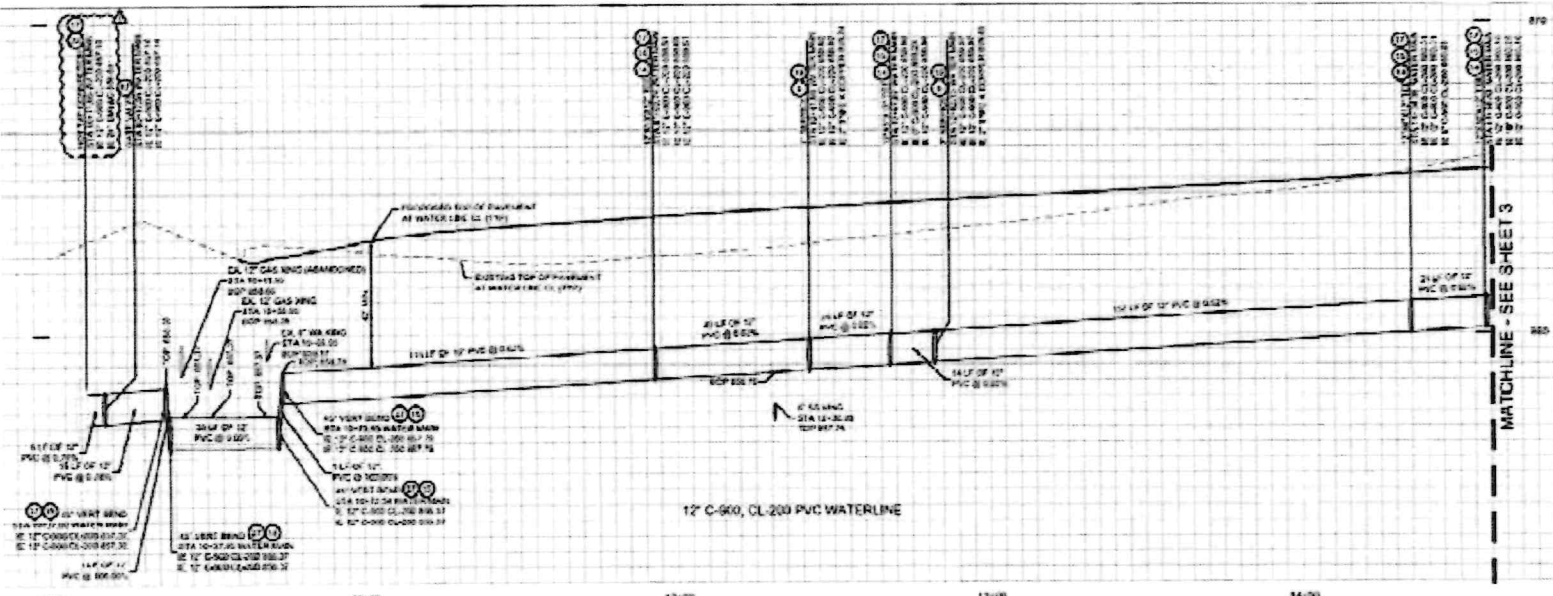
Station 10+06.00 to 14+94.87 (488.87 ft.)

Page 4 of attached plans

Rubidoux Blvd: 8" PVC Sewer

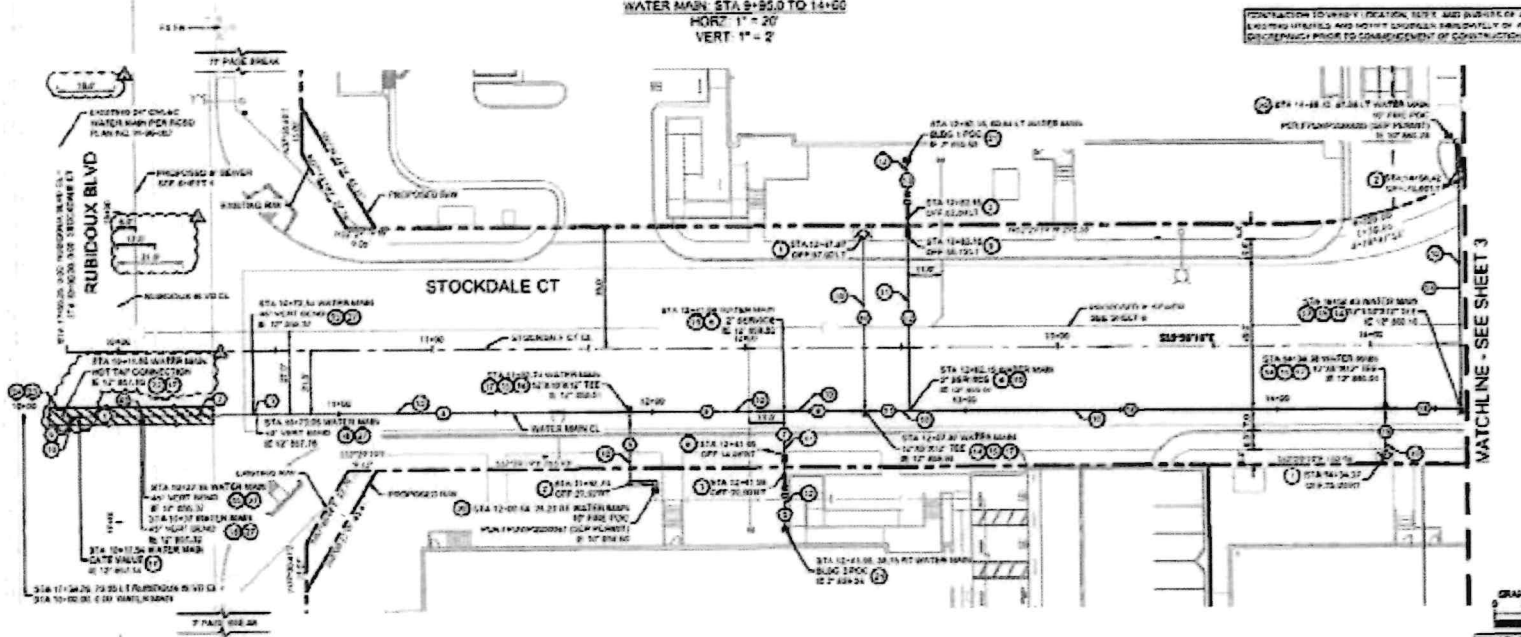
Station 17+61.26 to 25+89.14 (827.88 ft.)

Page 5 of attached plans



- LEGEND**
- PROPOSED WATER MAIN
 - EXISTING WATER MAIN
 - PROPOSED WATER SERVICE LINE
 - EXISTING WATER SERVICE LINE
 - PROPOSED WATER VALVE
 - EXISTING WATER VALVE
 - PROPOSED WATER HYDRANT
 - EXISTING WATER HYDRANT
 - PROPOSED WATER METER
 - EXISTING WATER METER
 - PROPOSED WATER GATE VALVE
 - EXISTING WATER GATE VALVE
 - PROPOSED WATER ELBOW
 - EXISTING WATER ELBOW
 - PROPOSED WATER FITTING
 - EXISTING WATER FITTING
 - PROPOSED WATER PIPE (12" PVC @ 200 PSI)
 - EXISTING WATER PIPE (12" C-900, CL 200 PVC @ 200 PSI)
 - PROPOSED WATER FITTING (12" PVC @ 200 PSI)
 - EXISTING WATER FITTING (12" C-900, CL 200 PVC @ 200 PSI)

- WATER NOTES**
1. CONSTRUCT 12" COMMERCIAL PIPE HYDRANT PER ACD STS. 61100. SEE DETAIL B, SHEET 3.
 2. CONSTRUCT 12" AIRS SERVICE VALVE CHECK DETECTOR ASSEMBLY WITH A WAY AND PER ACD STS. 61110.
 3. CONSTRUCT 2" BRASS CONTROL VALVE CHECK PER ACD STS. 61120.
 4. CONSTRUCT 2" BRASS LATERAL PER ACD STS. 61130 WITH:
 - 4.1 CONSTRUCT 1" WATER PER ACD STS. 61130.
 - 4.2 INSTALL 4" AIRS VALVE PER ACD STS. 61130 PER PLAN, TRENCH AND BIDDING PER ACD STS. 61130.
 - 4.3 INSTALL 2" BRASS CONTROL VALVE PER ACD STS. 61130 PER PLAN, TRENCH AND BIDDING PER ACD STS. 61130.
 - 4.4 INSTALL 2" BRASS CONTROL VALVE PER ACD STS. 61130 PER PLAN, TRENCH AND BIDDING PER ACD STS. 61130.
 - 4.5 CONSTRUCT THRUST BLOCK PER ACD STS. 61130.
 5. CONSTRUCT CURB GATE VALVE, SIZE OF VALVE TO MATCH SIZE OF LINE PER ACD STS. 61140.
 6. CONSTRUCT SERVICE CONNECTION PER ACD STS. 61150.
 7. INSTALL TO FLANGED END, USE PROPER PIPE FLANS PER ACD STS. 61150 FOR CONNECTION.
 8. INSTALL 2" BRASS VALVE PER PLAN FOR CONNECTION.
 9. SUBMITTERS TO BE SETTING AND SETTING WITH 10' TRENCH AND 10' FLANGED END PER PLAN FOR CONNECTION.
 10. EXISTING AND PROPOSED WATER MAINS SHALL BE INSTALLED TO MEET ALL TRANSPORTATION DEPARTMENT STANDARDS AND SPECIFICATIONS.
 11. CONSTRUCT FURNISH EXISTING WATER MAIN AND BASE FOR COUNTY OF INDIANAPOLIS STS. 61160 SEE DETAIL B, SHEET 3.
 12. INSTALL PER PLAN PER PLAN.



WATER MAIN TABLE

LINE NO.	BEARING	LENGTH	SIZE	NOTE
1	145° 30' 00"	6.25	12" C-900, CL 200 PVC	4.2.1.1
2	150° 00' 00"	10.00	12" C-900, CL 200 PVC	4.2.1.2
3	150° 00' 00"	30.00	12" C-900, CL 200 PVC	4.2.1.3
4	145° 00' 00"	1.41	12" C-900, CL 200 PVC	4.2.1.4
5	150° 00' 00"	118.75	12" C-900, CL 200 PVC	4.2.1.5
6	150° 00' 00"	32.00	12" C-900, CL 200 PVC	4.2.1.6
7	150° 00' 00"	43.24	12" C-900, CL 200 PVC	4.2.1.7
8	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.8
9	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.9
10	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.10
11	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.11
12	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.12
13	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.13
14	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.14
15	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.15
16	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.16
17	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.17
18	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.18
19	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.19
20	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.20
21	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.21
22	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.22
23	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.23
24	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.24
25	150° 00' 00"	15.74	12" C-900, CL 200 PVC	4.2.1.25

I am a public servant by profession. Service is my goal.

NOT TO SCALE, HORIZ. TO CENTER 12" G.W.C. CITY CENTER

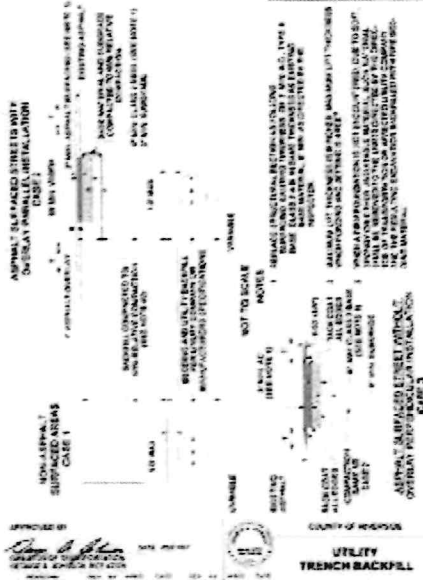
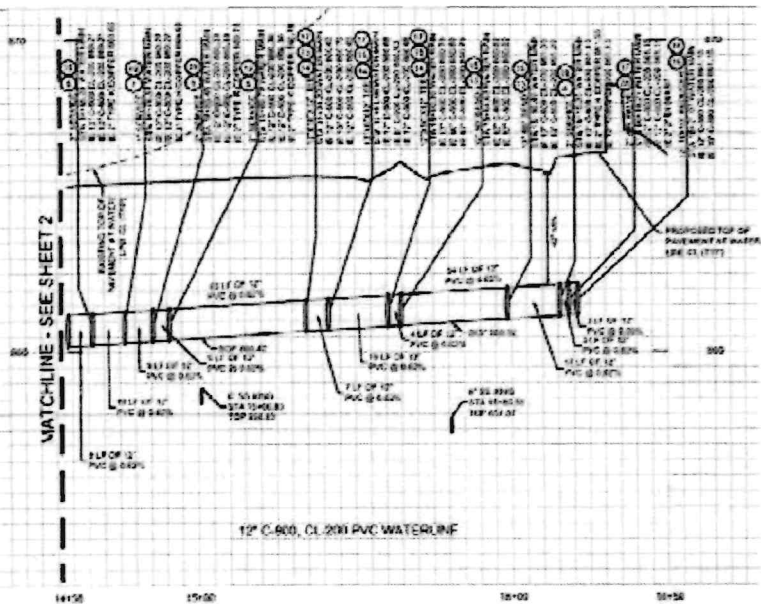
Kimley Horn
 400 S STREET, SUITE 600, SAN JOSE, CA 95128
 TEL 408 276 6644

APPROVED BY: *Ted Beckwith*
 DATE: 3/21/21
 R.C.F. NO: 87326
 DATE: 3/21/21

RUBIDOUX COMMUNITY SERVICES DISTRICT
WATER AND SEWER IMPROVEMENT PLANS
RUBIDOUX INDUSTRIAL CENTER
WATER PLAN

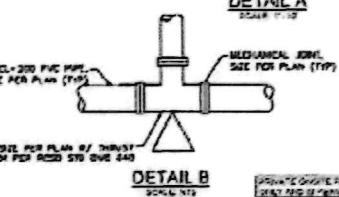
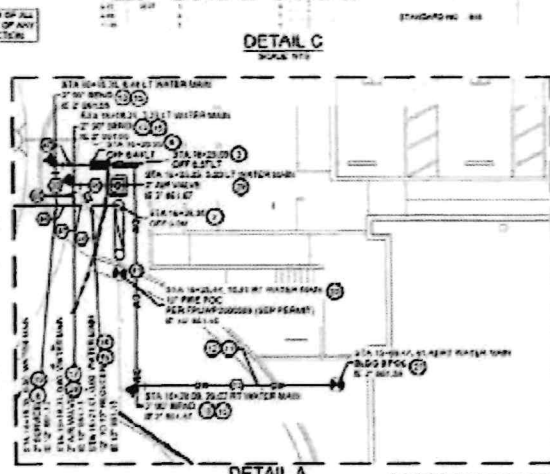
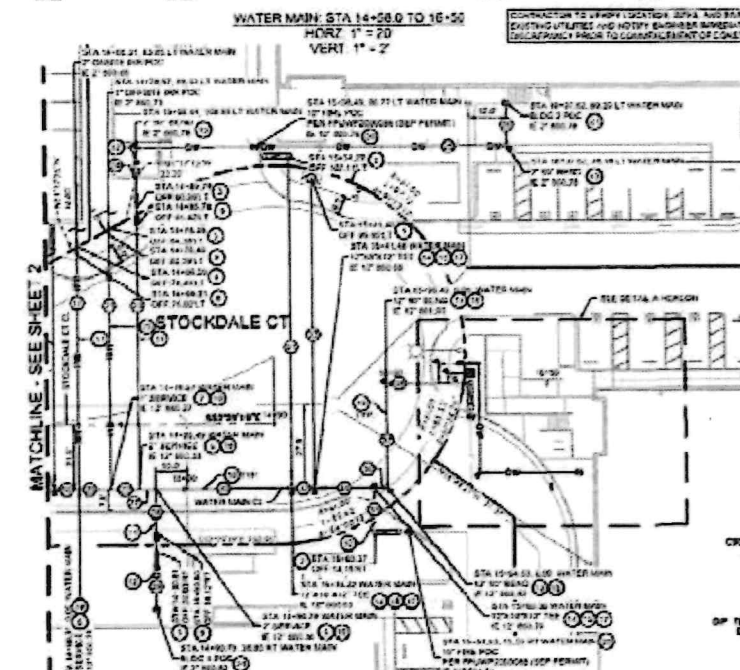
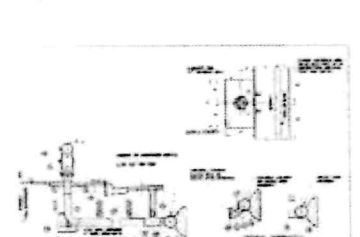
2 OF 6
 SCALE: 1" = 20'

PIPE SIZE	DEPTH	PIPE MATERIAL	UNIT PRICE
24" DIA	8.0	12" C-900 CL-350 PVC	42.75
24" DIA	10.0	12" C-900 CL-350 PVC	47.00
24" DIA	12.0	12" C-900 CL-350 PVC	51.25
24" DIA	14.0	12" C-900 CL-350 PVC	55.50
24" DIA	16.0	12" C-900 CL-350 PVC	59.75
24" DIA	18.0	12" C-900 CL-350 PVC	64.00
24" DIA	20.0	12" C-900 CL-350 PVC	68.25
24" DIA	22.0	12" C-900 CL-350 PVC	72.50
24" DIA	24.0	12" C-900 CL-350 PVC	76.75
24" DIA	26.0	12" C-900 CL-350 PVC	81.00
24" DIA	28.0	12" C-900 CL-350 PVC	85.25
24" DIA	30.0	12" C-900 CL-350 PVC	89.50
24" DIA	32.0	12" C-900 CL-350 PVC	93.75
24" DIA	34.0	12" C-900 CL-350 PVC	98.00
24" DIA	36.0	12" C-900 CL-350 PVC	102.25
24" DIA	38.0	12" C-900 CL-350 PVC	106.50
24" DIA	40.0	12" C-900 CL-350 PVC	110.75
24" DIA	42.0	12" C-900 CL-350 PVC	115.00
24" DIA	44.0	12" C-900 CL-350 PVC	119.25
24" DIA	46.0	12" C-900 CL-350 PVC	123.50
24" DIA	48.0	12" C-900 CL-350 PVC	127.75
24" DIA	50.0	12" C-900 CL-350 PVC	132.00
24" DIA	52.0	12" C-900 CL-350 PVC	136.25
24" DIA	54.0	12" C-900 CL-350 PVC	140.50
24" DIA	56.0	12" C-900 CL-350 PVC	144.75
24" DIA	58.0	12" C-900 CL-350 PVC	149.00
24" DIA	60.0	12" C-900 CL-350 PVC	153.25
24" DIA	62.0	12" C-900 CL-350 PVC	157.50
24" DIA	64.0	12" C-900 CL-350 PVC	161.75
24" DIA	66.0	12" C-900 CL-350 PVC	166.00
24" DIA	68.0	12" C-900 CL-350 PVC	170.25
24" DIA	70.0	12" C-900 CL-350 PVC	174.50
24" DIA	72.0	12" C-900 CL-350 PVC	178.75
24" DIA	74.0	12" C-900 CL-350 PVC	183.00
24" DIA	76.0	12" C-900 CL-350 PVC	187.25
24" DIA	78.0	12" C-900 CL-350 PVC	191.50
24" DIA	80.0	12" C-900 CL-350 PVC	195.75
24" DIA	82.0	12" C-900 CL-350 PVC	200.00
24" DIA	84.0	12" C-900 CL-350 PVC	204.25
24" DIA	86.0	12" C-900 CL-350 PVC	208.50
24" DIA	88.0	12" C-900 CL-350 PVC	212.75
24" DIA	90.0	12" C-900 CL-350 PVC	217.00
24" DIA	92.0	12" C-900 CL-350 PVC	221.25
24" DIA	94.0	12" C-900 CL-350 PVC	225.50
24" DIA	96.0	12" C-900 CL-350 PVC	229.75
24" DIA	98.0	12" C-900 CL-350 PVC	234.00
24" DIA	100.0	12" C-900 CL-350 PVC	238.25



- LEGEND**
- Pipe size and depth symbols
 - Manhole symbols
 - Access points symbols
 - Utility lines symbols
 - Proposed top of pavement
 - Double check detector assembly
 - Reducer symbols

- WATER NOTES**
- CONSTRUCT 12\"/>



DETAIL E
SCALE 1/4\"/>



REVISIONS

NO.	DATE	DESCRIPTION
1	3/20/21	FINAL 12\"/>
2	3/22/21	REVISED 12\"/>

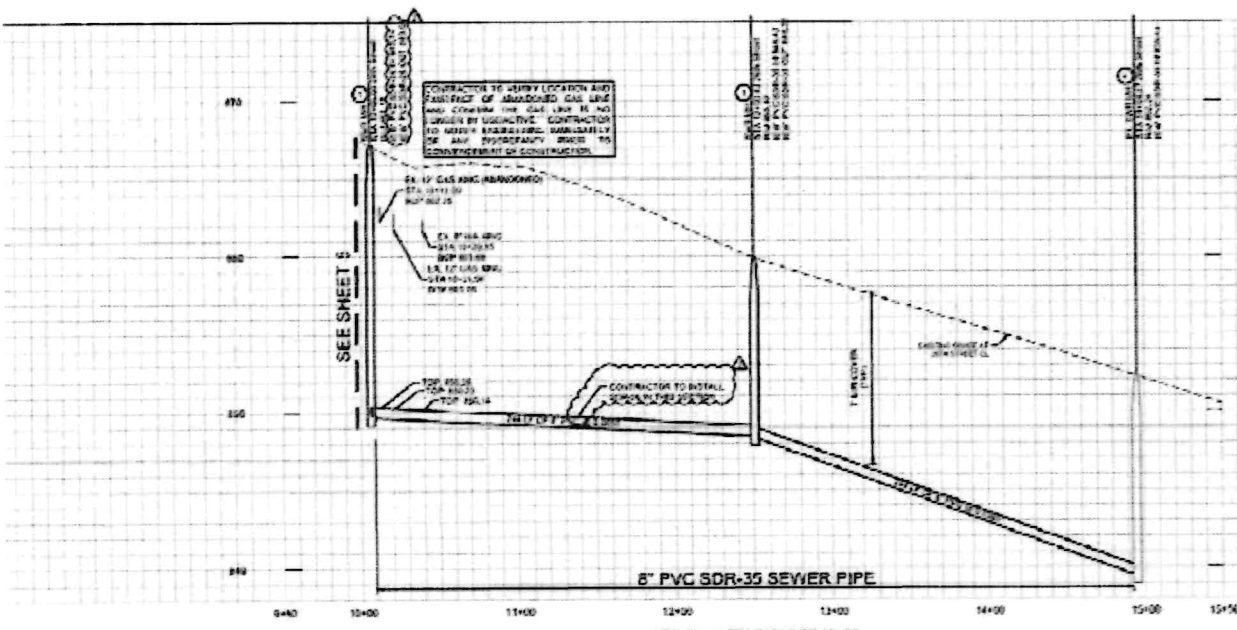
Kimley | Horn
415 S STREET, SUITE 600, SAN JOSE, CA 95128
TEL 408 234 7844

DESIGNED BY: *[Signature]* R.C.M. DATE: 3/18/21
CHECKED BY: *[Signature]* DATE: 3/18/21

RUBIDOUX COMMUNITY SERVICES DISTRICT

WATER AND SEWER IMPROVEMENT PLAN
RUBIDOUX INDUSTRIAL CENTER
WATER PLAN

3 OF 8
DATE PLOTTED: 03/18/21
SCALE: 1\"/>



26th Street STA 9+50.0 TO 15+50
 HORIZ. 1" = 4'
 VERT. 1" = 4'

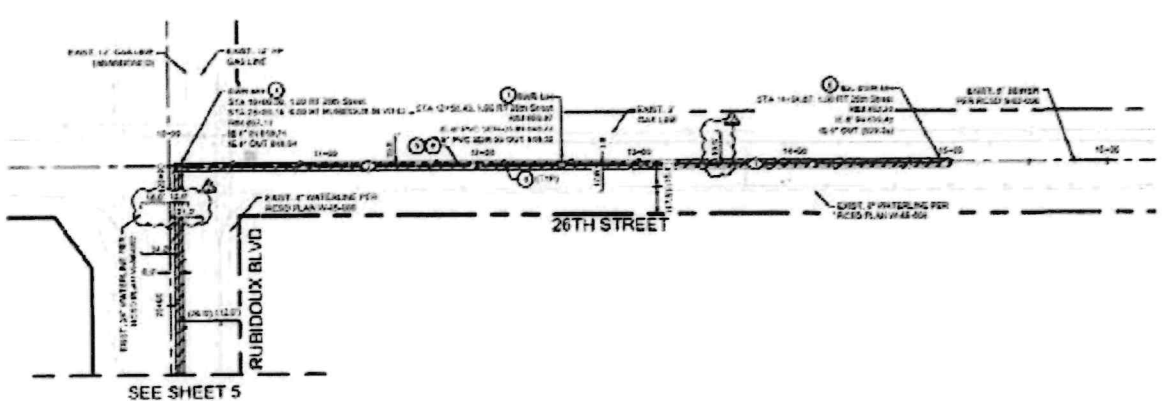
CONTRACTOR TO VERIFY LOCATION, DEPTH AND GRADE OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

LEGEND

PROPOSED LINE RIGHT-OF-WAY
 EXISTING GAS LINE
 EXISTING WATER MAIN
 EXISTING SEWER
 EXISTING CURB
 PROPOSED 12" WATER MAIN
 PROPOSED 6" GAS LINE
 EXISTING 12" GAS LINE
 EXISTING 4" GAS LINE
 EXISTING 12" WATER MAIN
 EXISTING 4" WATER MAIN
 EXISTING 12" SEWER
 EXISTING 4" SEWER
 EXISTING 12" CURB
 EXISTING 4" CURB

- SEWER NOTES**
- CONTRACTOR TO CONSTRUCT MANHOLE PER A.C.D. DIV. STD. DRAWING NUMBER COVER AND FRAME PER A.C.D. DIV. STD. DRAWING
 - CONTRACTOR TO CONSTRUCT TRENCH PER A.C.D. DIV. STD. DRAWING NUMBER PER A.C.D. DIV. STD. DRAWING. TRENCH WIDTH = STANDARD LOAD (7500 LBS) AND FACTOR 2.0
 - CONTRACTOR TO VERIFY GRADE OF EXISTING UTILITIES TO VERIFY S.E. LINES AND CONNECTIONS TO EXISTING UTILITIES
 - AT PRESENT CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES TO VERIFY S.E. LINES AND CONNECTIONS TO EXISTING UTILITIES
 - CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES

- NOTES**
- CONTRACTOR TO CONSTRUCT MANHOLE AT THE DOWNSTREAM POINT OF CONNECTION WORKING WITH THE CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY OR CORRECTIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES TO VERIFY S.E. LINES AND CONNECTIONS TO EXISTING UTILITIES



SEE SHEET 5

PIPE SIZE	LENGTH	DATE	NO.
12" DIA.	264.2'	3/25/21	1
4" DIA.	264.2'	3/25/21	2

DIGAlert

CALL BEFORE YOU DIG

A PUBLIC SERVICE OF UNDERGROUND UTILITIES

IF YOU ARE A CONTRACTOR OR OTHER PARTY THAT WILL BE EXCAVATING, PLEASE CALL 800-888-4444 TO REGISTER YOUR PROJECT. IF YOU ARE A HOMEOWNER, PLEASE CALL 800-888-4444 TO REGISTER YOUR PROJECT.

IF YOU ARE A CONTRACTOR OR OTHER PARTY THAT WILL BE EXCAVATING, PLEASE CALL 800-888-4444 TO REGISTER YOUR PROJECT. IF YOU ARE A HOMEOWNER, PLEASE CALL 800-888-4444 TO REGISTER YOUR PROJECT.

NO.	DATE	REVISION
1	3/25/21	DIV. COMMENTS
2	3/25/21	PIPE MATERIAL CHANGE

Professional Engineer Seal: Kimley Horn, No. 57201, State of California, License No. 51911

Kimley Horn

400 S STREET, SUITE 400, SAN ANTONIO, TX 78204

PREPARED BY: [Signature]

CHECKED BY: [Signature]

DATE: 3/18/21

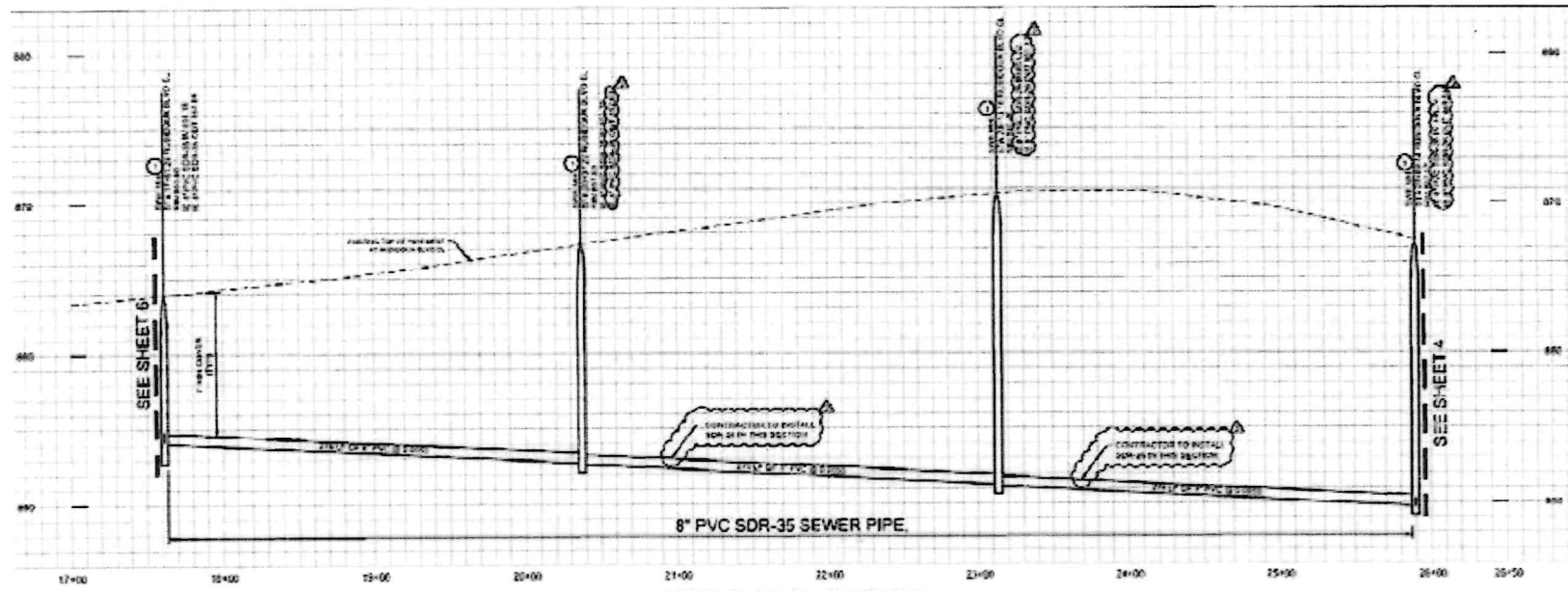
APPROVED BY: THE RIBUDOUX COMMUNITY SERVICES DISTRICT FOR CONSTRUCTION

Ted Beckwith
 DISTRICT MANAGER

RIBUDOUX COMMUNITY SERVICES DISTRICT

WATER AND SEWER IMPROVEMENT PLANS
 RIBUDOUX INDUSTRIAL CENTER
 SEWER PLAN

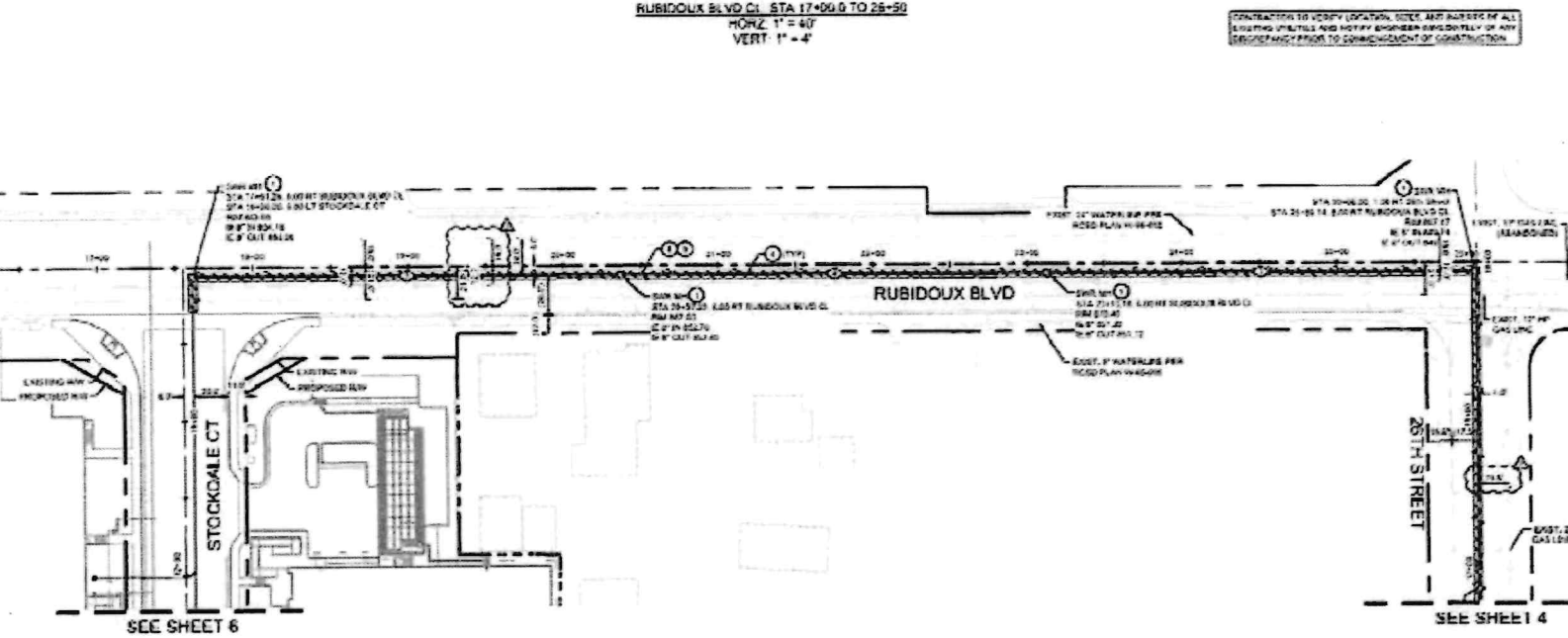




- LEGEND**
- EXISTING LINE (DASHED)
 - PROPOSED LINE (SOLID)
 - EXISTING GAS LINE
 - PROPOSED GAS LINE
 - EXISTING WATER
 - PROPOSED WATER
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING WATER MAIN
 - PROPOSED WATER MAIN
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING WATER MAIN
 - PROPOSED WATER MAIN

- SEWER NOTES**
1. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- NOTES**
1. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.



EXISTING PIPE DATA

PIPE SIZE	DEPTH	LENGTH	SIZ	SLOPE
12\"/>				



NOTICE TO CONTRACTOR
 THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE SEWER SYSTEM AND THE INSTALLATION OF THE SEWER PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFYING THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

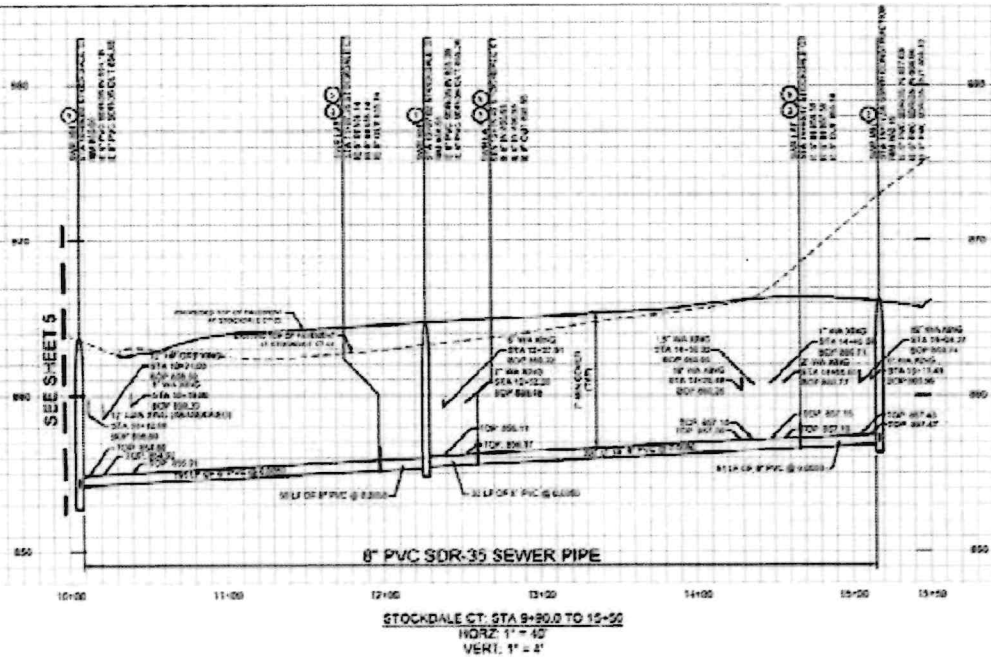
NO.	DATE	DESCRIPTION	BY	CHKD.
1	5/1/21	ISSUED FOR PERMITS		
2	5/1/21	REVISED FOR PERMITS		



Kimley-Horn
 408 S STREET, SUITE 400, SAN DIEGO, CA 92101
 PREPARED BY: *[Signature]* DATE: 5/1/21
 A.C.E. NO. 81228

APPROVED BY: *[Signature]*
 T. Beckwith, Director of Engineering
 RUBIDOUX COMMUNITY SERVICES DISTRICT

RUBIDOUX COMMUNITY SERVICES DISTRICT
 WATER AND SEWER IMPROVEMENT PLANS
 RUBIDOUX INDUSTRIAL CENTER
 SEWER PLAN
 5 OF 6
 R. H. KIMLEY-HORN
 5/1/21
 SCALE 1" = 40'



LEGEND

PROPERTY LINE | RIGHTWAY CENTERLINE
 EXISTING GSE LINE
 PROPOSED DRAIN
 EXISTING DRAIN
 PROPOSED MANHOLE
 PROPOSED MANHOLE WITH 45° SLOPE
 EXISTING MANHOLE
 EXISTING MANHOLE WITH 45° SLOPE
 EXISTING MANHOLE WITH 45° SLOPE AND 8" DIA. SDR 35 PIPING
 EXISTING MANHOLE WITH 45° SLOPE AND 8" DIA. SDR 35 PIPING
 EXISTING MANHOLE WITH 45° SLOPE AND 8" DIA. SDR 35 PIPING
 EXISTING MANHOLE WITH 45° SLOPE AND 8" DIA. SDR 35 PIPING
 EXISTING MANHOLE WITH 45° SLOPE AND 8" DIA. SDR 35 PIPING

SEWER NOTES

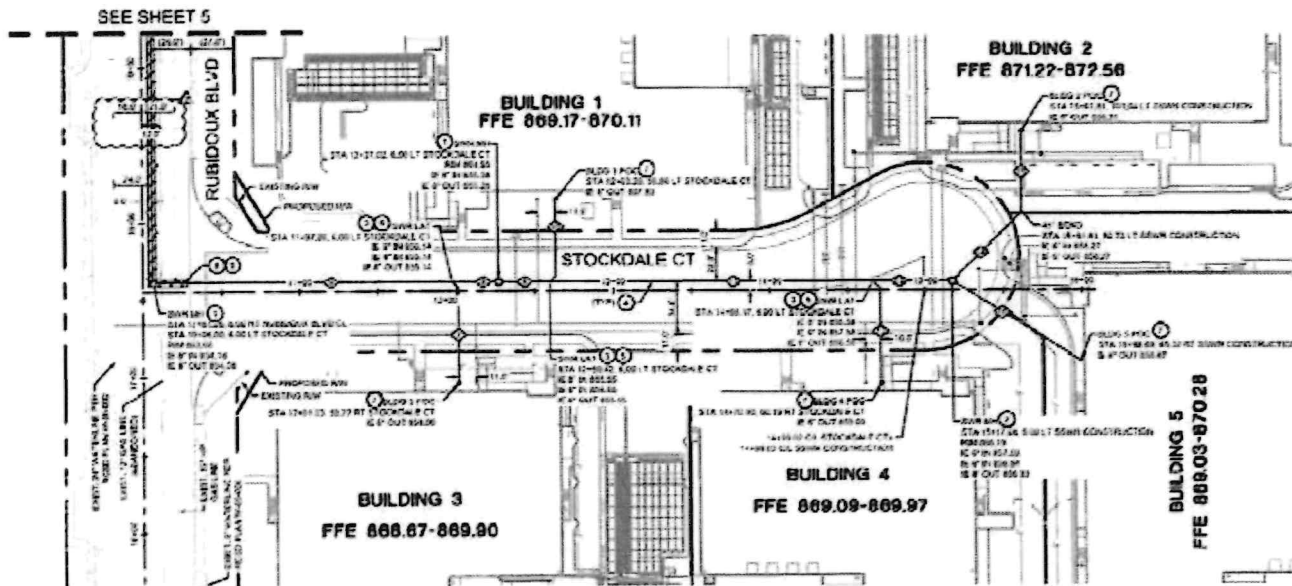
- CONSTRUCT CONCRETE MANHOLE WITH 45° SLOPE, 18" DIA. SDR 35 PIPING AND 18" DIA. SDR 35 PIPING TO EXISTING MANHOLE.
- CONSTRUCT MANHOLE AT END OF CUL OF 8" DIA. SDR 35 PIPING TO EXISTING MANHOLE.
- CONSTRUCT 8" DIA. SDR 35 PIPING TO EXISTING MANHOLE.
- CONSTRUCT 8" DIA. SDR 35 PIPING TO EXISTING MANHOLE.
- BUILDING P.O.C. SEE PLUMBING PLAN FOR CONTINUATION FOR SEPARATE PROJECT.
- ALL WORK SHALL BE ACCORDING TO THE SPECIFICATIONS AND STANDARDS FOR COUNTY OF NEBRASKA STD. 140 8" DIA. DETAIL SHEET 3.
- REMOVE AND REPAIR EXISTING MANHOLE.

NOTES

- CONTRACTOR TO CONSTRUCT SEWER AT THE DOMESTIC HOME OF CONSTRUCTION IN ORDER TO MAINTAIN CONNECTION TO EXISTING SEWER LINE. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY OR CONFLICT WITH EXISTING UTILITIES TO DETERMINE LOCATION AND DEPTH AND VERIFY ENGINEER RESPONSIBILITY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SEWER PIPE TABLE

PIPE NAME	RELATION	LENGTH	SIZE	DEPTH
SD 27 19E	19.28	4'	8" SDR 35 PVC	4.00%
SD 30 14E	81.43	8'	8" SDR 35 PVC	3.00%
SD 27 19E	23.77	8'	8" SDR 35 PVC	3.00%
SD 25 18E	32.80	8'	8" SDR 35 PVC	3.00%
SD 18 14E	32.00	8'	8" SDR 35 PVC	3.00%
SD 27 19E	208.75	8'	8" SDR 35 PVC	3.00%
SD 19 14E	47.00	8'	8" SDR 35 PVC	3.00%
SD 26 18E	50.81	8'	8" SDR 35 PVC	3.00%
SD 18 14E	43.25	8'	8" SDR 35 PVC	3.00%
SD 30 14E	52.31	8'	8" SDR 35 PVC	3.00%
SD 27 19E	88.57	8'	8" SDR 35 PVC	3.00%

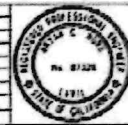


ALL WORK CONTAINED WITHIN THESE PLANS SHALL BE CONSIDERED TO BE THE PROPERTY OF THE DISTRICT. NO PART OF THESE PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DISTRICT.

NO.	DATE	DESCRIPTION

CITY COMMENTS

NO.	DATE	DESCRIPTION



Kimley-Horn
45 S STREET, SUITE 500, EEA DECK, CA 680
TEL: 402.334.4400

PROJECT OF:
Ted Beckwith

A.C.S. NO. 87326
DATE: 3/18/21

APPROVED BY THE DISTRICT:
RUBIDOUX COMMUNITY SERVICES DISTRICT FOR CONSTRUCTION.

Ted Beckwith
DISTRICT ENGINEER

RUBIDOUX COMMUNITY SERVICES DISTRICT
6 OF 8
WATER AND SEWER IMPROVEMENT PLANS
RUBIDOUX INDUSTRIAL CENTER
SEWER PLAN
DATE: 3/18/21
SCALE: 1" = 40'



EXHIBIT 2

AREAS OF BENEFIT

Two Areas of Benefit were defined based on a parcel's potential benefit through future connection to the sections of Offsite Sewer Improvements sewer installed in 26th Street and Rubidoux Blvd. There are two areas as some parcels will not benefit from the sewer pipeline installed in Rubidoux Blvd. -





Area of Benefit 1 (96.7 acres): Parcels benefiting only from the sewer pipeline in 26th Street (Station 10+06.00 to 14+94.87). The Unit Participation Amount for parcels within this Area of Benefit will be based on the eligible costs associated with the above listed sewer pipeline limits for 26th Street only.

Area of Benefit 2 (24.6 acres): Parcels benefiting from the sewer pipeline installed in both 26th Street (Station 10+06.00 to 14+94.87) and Rubidoux Blvd. (Station 17+61.26 to 25+89.14). The Unit Participation Amount for parcels within this Area of Benefit will be based on the eligible costs associated with the above listed sewer pipeline limits for both 26th Street and Rubidoux Blvd.

See attached map.

Area of Benefit Map



-  26th Street - Sewer Line
-  Rubidoux Blvd - Sewer Line
-  Parcels
-  26th Street Only -Area of Benefit 1

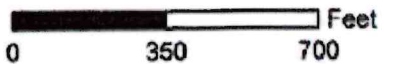


EXHIBIT 3

ELIGIBLE COSTS

1. Total 26 th Street & Rubidoux Blvd.	\$829,291.63
2. West Coast Cold Storage Payment	<\$100,000.00>
3. Net Offsite Eligible Costs	<u>\$729,291.63</u>
4. Total length of offsite pipeline	1,316.75 LF
5. Percent length 26 th Street (only)	37.12%
6. Percent length Rubidoux Blvd. (only)	62.87%
7. Allocation of costs to 26 th Street	\$270,713.05
8. Allocation of costs to Rubidoux Blvd.	\$458,578.58

EXHIBIT 4

PARTICIPATION AMOUNT METHODOLOGY

1. Total area in acres of Area of Benefit 1	96.79 acres
2. Total area in acres of Area of Benefit 2	24.6 acres
3. Total area in both Benefit Areas	121.39 acres
4. Eligible costs Area of Benefit 1	\$270,713.05
5. Eligible costs Area of Benefit 2	\$458,578.58
6. Unit cost Area of Benefit 1	
a. \$270,713.05 divided by 121.39 acres	
= <u>\$2,230.11/acre</u>	
7. Unit cost Area of Benefit 2	
a. [(\$458,578.58 divided by 24.6 acres)+ \$2,230.11/acre]	
= <u>\$20,871.52/acre</u>	

EXHIBIT 5

GRANT DEED AND BILL OF SALE

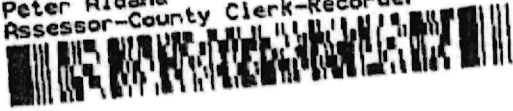
(ACCEPTANCE DOCUMENTS FOR OFFSITE IMPROVEMENTS)

2022-0472482

11/16/2022 11:26 AM Fee: \$ 0.00

Page 1 of 8

Recorded in Official Records
County of Riverside
Peter Aldana
Assessor-County Clerk-Recorder



RECORDING REQUESTED BY
AND
WHEN RECORDED MAIL TO:

RUBIDOUX COMMUNITY
SERVICES DISTRICT
P.O. 3098
Rubidoux, CA 92519-3098

EXEMPT FROM RECORDING FEES PER GOVT.
CODE §6103
EXEMPT FROM DOCUMENTARY TRANSFER
TAX PER REV. & TAX CODE §11922

8778

Space above this line for Recorder's use

GRANT DEED AND BILL OF SALE

FOR GOOD AND VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, DAVIS JCR RUBIDOUX INDUSTRIAL LAND OWNER LLC, a Delaware limited liability company ("*Grantor*") hereby grants and conveys to RUBIDOUX COMMUNITY SERVICES DISTRICT, a public agency organized and existing under and by virtue of the Community Services District Law ("*Grantee*") all water and sewer improvements ("*RCSD Facilities*") which Grantor has constructed within those public streets commonly known as Rubidoux Boulevard, 26th Street and Stockdale Court, located in the City of Jurupa Valley, County of Riverside, State of California, which includes that real property more particularly described as:

LOT A AND LOT B, INCLUSIVE, OF PARCEL MAP NO. 33617, IN THE CITY OF JURUPA VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 232, PAGES 69 THROUGH 72, INCLUSIVE, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

The location of such RCSD Facilities are approximately depicted on *Exhibit "A"*, attached hereto, and more particularly described on *Exhibit "B"*, attached hereto.

[SIGNATURES ON FOLLOWING PAGE]

[SIGNATURE PAGE TO GRANT DEED AND BILL OF SALE]

IN WITNESS WHEREOF, Grantor has caused this instrument to be executed on the date set forth below.

Dated: 11/9/22

GRANTOR:

DAVIS JCR RUBIDOUX INDUSTRIAL
LAND OWNER LLC, a Delaware limited
liability company

By: Davis Clairmont Rubidoux LLC,
a Delaware limited liability company
Its Manager

By: [Signature] Davis Rubidoux LLC, a
Delaware limited liability company
Its Managing Member

By: [Signature]
Robert J. Thiergartner
Its Managing Member

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Orange)

On November 9, 2022, before me, Heather Santilli, a Notary Public, personally appeared Robert J. Thiergartner, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature]



EXHIBIT "A"

DEPICTION OF LOCATION OF RCSD FACILITIES

[to be attached]

EXHIBIT "A" RCSD FACILITIES

SHEET 1 OF 2

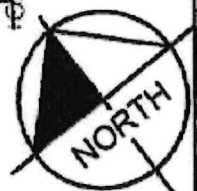
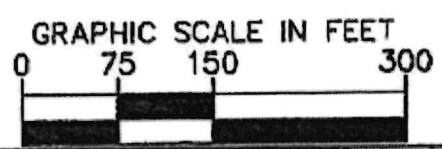
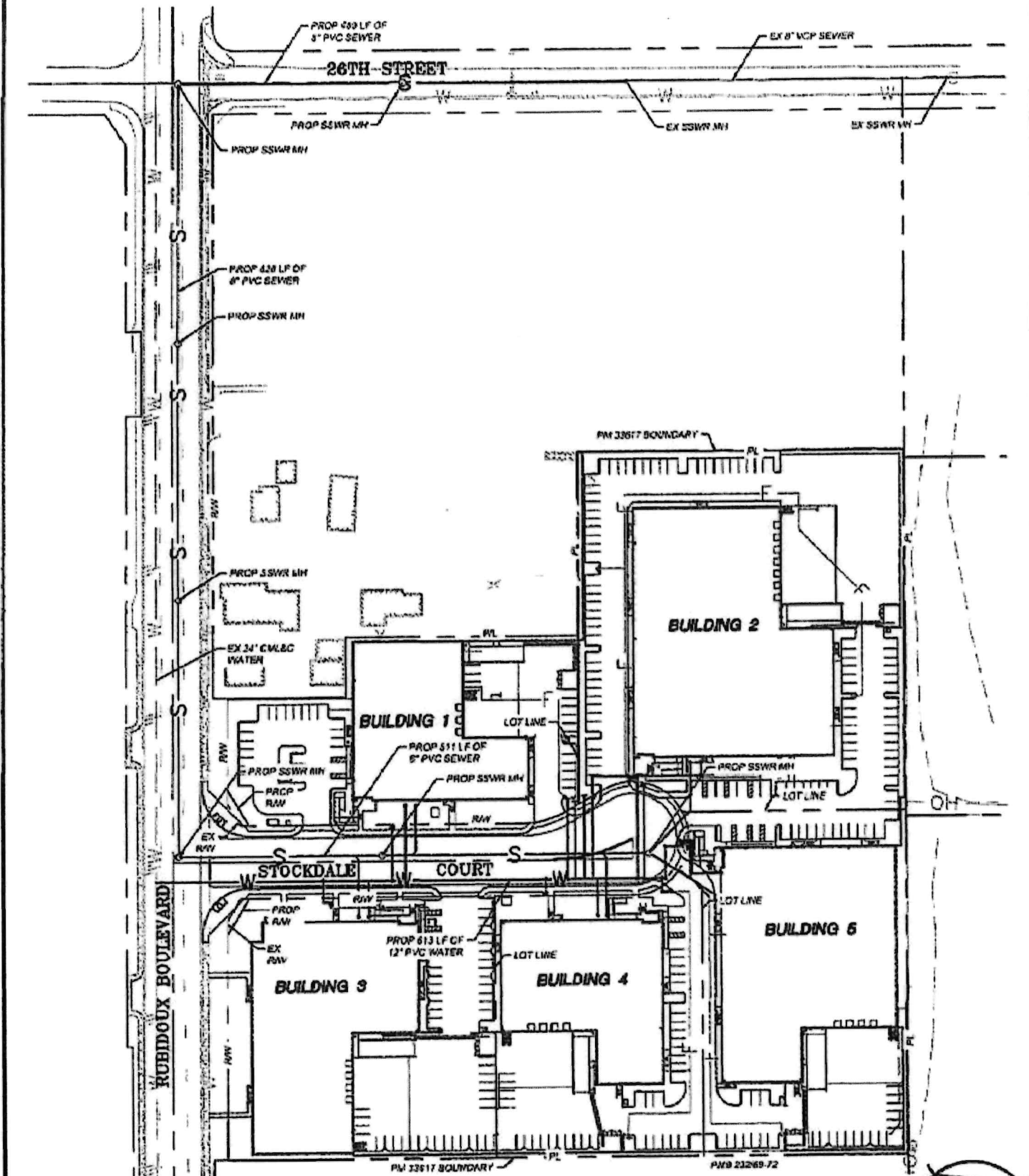


EXHIBIT "B"

DESCRIPTION OF LOCATION OF RCSD FACILITIES

[to be attached]

EXHIBIT "B"
RCSD FACILITIES

SHEET 2 OF 2

26TH STREET SEWER DESCRIPTION

CONSTRUCTION OF 489 LINEAR FEET OF 8" PVC SANITARY SEWER FROM A PROPOSED SEWER MANHOLE LOCATED AT THE INTERSECTION OF 26TH STREET AND RUBIDOUX BOULEVARD TO AN EXISTING SEWER MANHOLE IN 26TH STREET SOUTHEASTERLY OF RUBIDOUX BUILDING. CONSTRUCTION OF SANITARY SEWER MANHOLES AS SHOWN.

RUBIDOUX BOULEVARD SEWER DESCRIPTION

CONSTRUCTION OF 828 LINEAR FEET OF 8" PVC SANITARY SEWER FROM A PROPOSED SEWER MANHOLE LOCATED AT THE INTERSECTION OF RUBIDOUX BOULEVARD AND STOCKDALE COURT TO A PROPOSED SEWER MANHOLE LOCATED AT THE INTERSECTION OF 26TH STREET AND RUBIDOUX BOULEVARD. CONSTRUCTION OF SANITARY SEWER MANHOLES AS SHOWN.

STOCKDALE COURT SEWER DESCRIPTION

CONSTRUCTION OF 511 LINEAR FEET OF 8" PVC SANITARY SEWER FROM A PROPOSED SEWER MANHOLE LOCATED AT THE INTERSECTION OF RUBIDOUX BOULEVARD AND STOCKDALE COURT TO A PROPOSED SEWER MANHOLE LOCATED IN THE CUL-DE-SAC OF STOCKDALE COURT. CONSTRUCTION OF SANITARY SEWER MANHOLES AND SERVICE LATERALS AS SHOWN.

STOCKDALE COURT WATER DESCRIPTION

CONSTRUCTION OF 613 LINEAR FEET OF 12" PVC WATER FROM THE TIE-IN LOCATION AT THE INTERSECTION OF RUBIDOUX BOULEVARD AND STOCKDALE COURT TO A TERMINUS LOCATION IN THE CUL-DE-SAC OF STOCKDALE COURT. CONSTRUCTION OF WATER SERVICES AND FIRE HYDRANTS AS SHOWN.

**CERTIFICATE OF ACCEPTANCE OF AND CONSENT TO
GRANT DEED AND BILL OF SALE**

THIS IS TO CERTIFY that the attached Grant Deed and Bill of Sale for all water and sewer improvements which DAVIS JCR RUBIDOUX INDUSTRIAL LAND OWNER LLC, a Delaware limited liability company ("Grantor") has constructed within the public streets commonly known as Rubidoux Boulevard, 26th Street and Stockdale Court, is hereby accepted by the RUBIDOUX COMMUNITY SERVICES DISTRICT ("Grantee") by order of the Board of Directors of Grantee on the date set forth below. Grantee consents to the recordation thereof by its duly authorized officer. Grantee acknowledges and agrees that Grantee shall be responsible for ownership, operation and maintenance of such utility assets.

Date: November 15, 2022

(SEAL)

RUBIDOUX COMMUNITY SERVICES DISTRICT

By: Ted Beckwith

Name: Ted Beckwith

By: Director of Engineering

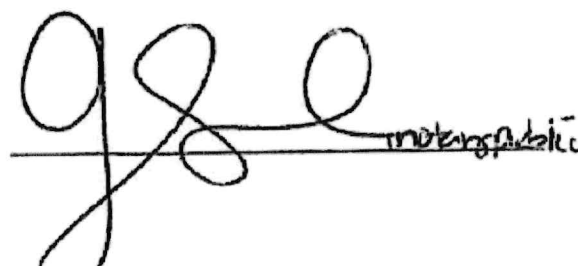
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

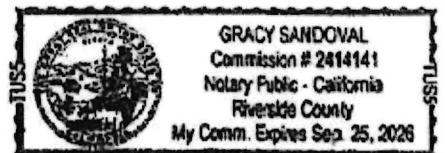
State of California)
County of Riverside)

On 11/15/2022, before me, Gracy Sandoval, a Notary Public, personally appeared Theodore James Beckwith who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 



CONSENT OF LIENHOLDER

The undersigned Beneficiary under that certain Construction Deed of Trust, Assignment of Rents, Security Agreement and Fixture Filing ("Deed of Trust") dated February 24, 2021, and recorded March 4, 2021, as Instrument No. 2021-0141178 of the Official Records of Riverside County, California, consents to the recordation of the foregoing Grant Deed and Bill of Sale which conveys the water and sewer improvements which the Trustor of the Deed of Trust has constructed in public streets adjacent to the Land (which is identified in the Deed of Trust) in connection with the Trustor's development of such Land.

Dated: November 9th, 2022 FARMERS AND MERCHANTS TRUST COMPANY OF LONG BEACH, a California corporation

By: [Signature]

Name: RICHARD ROBINSON

Its: General Vice President

By: [Signature]

Name: CHRISTE GRAY

Its: Senior Vice President

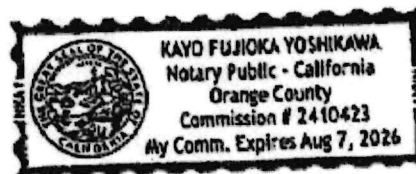
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Orange)

On November 9, 2022, before me, KAYO FUJIOKA YOSHIKAWA, a Notary Public, personally appeared RICHARD ROBINSON and CHRISTE GRAY, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Signature]



Peter Aldana
Riverside County
Assessor-County Clerk-Recorder
2724 Gateway Drive
Riverside, CA 92507
(951) 486-7000
www.rivcoacr.org

Receipt: 22-411386

Product	Name	Extended
149	DEED	\$0.00
	Document #	2022-0472482
	# Pages	8
<hr/>		
Total		\$0.00
Change (Cash)		\$0.00

Brian Laddusaw

From: Daniel W. Karcher <dkarcher@birtcherandersondavis.com>
Sent: Monday, October 17, 2022 7:05 PM
To: Ted Beckwith
Cc: Jeff Sims; Brian Laddusaw; Cowan, Davie
Subject: Re: Stockdale Court - Grant Deed and Bill of Sale

Ted, please see the breakdown of the sewer and water costs below. If you have any questions, please let me know. This does not include any fees paid to RCSD for its inspections of this work.

Stockdale/Rubidoux Sewer Cost

Base Contract	564,225.00
OH, Fee, Insurance	23,714.29
Unforeseen Costs in Rubidoux - Excess Demo, and Shoring	117,834.00
Cost for Asphalt at Sewer Patch	165,000.00
Total Sewer Cost	870,773.29
Total Sewer Design	25,350.00
Total Inspections (Geo)	16,110.00
Stockdale/Rubidoux Sewer Cost	912,233.29

Total Stockdale Water Improvements

Base Contract	442,723.00
OH, Fee, Insurance	18,607.58
Total Water Design	13,650.00
Total Inspections (Geo)	9,060.00

Stockdale Water Improvements 484,040.58

Daniel W. Karcher

President | DRE #01757903
949.296.3560 direct | 949.291.8634 cell
dkarcher@birtcherandersondavis.com
31920 DEL OBISPO, #260, SAN JUAN CAPISTRANO, CA 92675



Recent News | Birtcher Anderson & Davis

From: Ted Beckwith <tbeckwith@rcsd.org>
Sent: Monday, October 17, 2022 3:27 PM

EXHIBIT 6

WEST COAST COLD STORAGE AGREEMENT

RECORDING REQUESTED BY:

WHEN RECORDED MAIL TO:

DZIDA, CAREY & STEINMAN (CED)
3 Park Plaza, Suite 750
Irvine, CA 92614

(Space Above for Recorder's Use)

EASEMENT AND COST SHARING AGREEMENT

This Easement and Cost Sharing Agreement ("**Agreement**") is entered into by DAVIS JCR RUBIDOUX INDUSTRIAL LAND OWNER LLC, a Delaware limited liability company ("**Developer**"), and ICE BOX DEVELOPMENTS, LLC, a California limited liability company ("**Adjacent Owner**") as of _____, 2021 ("**Effective Date**"). Developer and Adjacent Owner are collectively referred to herein as the "**Parties**" and individually as a "**Party**."

P R E A M B L E

A. Developer is the owner and developer of the real property in the City of Jurupa Valley ("**City**"), County of Riverside, State of California, more fully described on *Exhibit "A"* hereto ("**Developer Property**").

B. Adjacent Owner is the owner of the real property near the Developer Property more fully described on *Exhibit "B"* hereto ("**Adjacent Owner Property**").

C. As part of the development of the Developer Property, Developer will be installing certain sewer improvements ("**Sewer Improvements**") in the public right-of-way which is adjacent to the Developer Property and the Adjacent Owner Property.

D. In addition to the Sewer Improvements, Developer has agreed to install a lateral sewer connection to serve the Adjacent Owner Property ("**Adjacent Owner Sewer Connection**"). In consideration of Developer's construction of the Sewer Improvements and Adjacent Owner Sewer Connection, Adjacent Owner shall share in the cost of the Sewer Improvements and pay all costs of the Adjacent Owner Sewer Connection.

A G R E E M E N T

NOW, THEREFORE, the Parties agree as follows:

1. **Work.** Developer shall construct the Sewer Improvements and the Adjacent Owner Sewer Connection (collectively, "*Work*") in accordance with the plans for such Work attached hereto as *Exhibit "C"*, as such plans may be modified in Developer's reasonable discretion and/or at the direction of the City and other applicable governmental and quasi-governmental authorities (collectively, "*Governmental Authorities*").

2. **Grant of Temporary Construction Easement.** Adjacent Owner hereby grants to Developer and Developer's employees, contractors, consultants and agents a nonexclusive, temporary construction easement over the Adjacent Property as may be reasonably necessary for Developer to complete the Work ("*Temporary Construction Easement*"). The Temporary Construction Easement shall terminate automatically upon completion of the Work.

3. **Costs of the Work.**

(a) **Sewer Improvements.** Adjacent Owner shall pay One Hundred Thousand Dollars (\$100,000) toward the cost of the Sewer Improvements ("*Adjacent Owner Sewer Improvements Costs*"). Adjacent Owner shall pay the Adjacent Owner Sewer Improvements Costs concurrently with the execution of this Agreement. Developer shall be responsible for all other construction costs of the Sewer Improvements.

(b) **Adjacent Owner Sewer Connection.** Adjacent Owner shall be solely responsible for the costs of the installation of the Adjacent Owner Sewer Connection ("*Adjacent Owner Sewer Connection Costs*", and together with the Adjacent Owner Sewer Improvements Costs, the "*Adjacent Owner Share*"). Adjacent Owner shall reimburse Developer or pay directly to designated sub-contractor within five (5) days after Developer notifies Adjacent Owner that the Adjacent Owner Sewer Connection Costs are complete. Adjacent Owner shall be solely responsible for any additional costs relating to the Adjacent Owner Sewer Connection, including without limitation any connection or similar fee charged by the City and/or any utility provide.

4. **Late Payment.** If any portion of the Adjacent Owner Share is not timely paid in accordance with this Agreement, interest shall accrue and be payable on such portion of the Adjacent Owner Share at a rate equal to the lesser of ten percent (10%) per annum or the maximum rate permitted by law, from the date due until paid. Adjacent Owner hereby grants to Developer a lien against the Adjacent Owner Property pursuant to Sections 2881 and 2884 of the California Civil Code to secure Adjacent Owner's obligation to pay the Adjacent Owner Share in accordance with this Section 4 and also to secure any interest thereon, attorneys' fees and court costs and other costs of collection thereof. Such lien shall be a continuing lien upon the Adjacent Owner Property and may be enforced in any manner allowed by law. The creation and enforcement of such lien shall not be an exclusive remedy and the Developer reserves any and all other remedies it may have under this Agreement, at law or otherwise. This Agreement shall constitute notice of such lien.

5. **Maintenance Costs.** After Developer completes the Work, Developer shall have no liability to Adjacent Owner for routine and ongoing maintenance of the Work. The Parties acknowledge that they intend for the Work to be transferred to a community services district for maintenance. To the extent any portion of the Work is not maintained by such community

services district, each Party shall be solely responsible for the portion of the Work that serves such Party's property or for any other portion of the Work as is required by the Governmental Authorities and/or by law.

6. **Amendment.** This Agreement may only be amended or terminated by the written agreement of the Parties.

7. **Covenants Running With Land.** The Parties hereby declare that the Developer Property and the Adjacent Owner Property (collectively, "**Properties**") are to be held, conveyed, hypothecated, encumbered, used, occupied, and improved subject to the foregoing limitations, restrictions, easements, covenants, and conditions, all of which are declared to be in furtherance of and for the use, protection, maintenance and improvement of the Properties. All provisions of this Agreement are hereby imposed as equitable servitudes on the Properties. All provisions of this Agreement shall run with the land and be binding upon and inure to the benefit of the Properties and any portion thereof or interest therein, and all persons or entities having or acquiring any right, title, or interest therein and their successive owners and assigns.

8. **Notices.** All notices or other communications between the Parties required or permitted hereunder shall be in writing and personally delivered or sent by certified mail, return receipt requested and prepaid, or sent by reputable overnight courier (such as Federal Express or UPS), or transmitted by e-mail to the addresses set forth on the signature page of this Agreement. A notice shall be effective on the date of personal delivery if personally delivered before 5:00 p.m., otherwise on the day following personal delivery, or on the date of receipt, if transmitted by e-mail transmission prior to 5:00 p.m. or otherwise on the next business day, or two (2) business days following the date the notice is postmarked, if mailed, or on the day following delivery to the applicable overnight courier, if sent by overnight courier. Either party may change the address to which notices are to be given to it by giving notice of such change of address in the manner set forth above for giving notice.

9. **Attorneys' Fees.** If any Party to this Agreement institutes any action or proceeding to enforce or interpret this Agreement or for damages on account of the breach of this Agreement, the prevailing party in such action or proceeding shall be entitled to recover from the other party its reasonable attorneys' fees and costs and expenses of litigation, including without limitation expert witness fees and costs).

10. **Miscellaneous.**

10.1 **Waiver.** The waiver by any Party of the breach by any other Party of any provision of this Agreement does not waive any subsequent breach of the same or any other provision of this Agreement.

10.2 **Choice of Law; Forum.** This Agreement shall be governed by and construed in accordance with the laws of the State of California. The proper forum for all actions and proceedings, including arbitration and mediation, shall be Riverside County, California.

10.3 **Language Construction.** Whenever the context of this Agreement requires, the masculine gender includes the feminine and neuter and the singular number includes the plural. Designations used herein are for convenience only and shall not be controlling in the

interpretation of this Agreement. This Agreement has been drafted by the parties hereto and shall not be subject to any rule of construction or interpretation based on attribution of the drafting of this Agreement to a single Party.

10.4 **Partial Invalidity.** If any provision in this Agreement is held by a court of competent jurisdiction to be unenforceable, the remaining provisions shall, nevertheless, continue in full force.

10.5 **Exhibits.** All exhibits to this Agreement are incorporated herein by this reference.

10.6 **Counterparts.** This Agreement may be executed in multiple counterparts, each of which shall be an original and all of which shall constitute one agreement.

10.7 **Entire Agreement.** This Agreement constitutes the entire agreement between the Parties and supersedes any and all other Agreements, whether oral or written, with respect to the obligations identified herein. The Parties hereby acknowledge that no representations, inducements, promises, or agreements, whether oral or otherwise, have been made by any Party or anyone acting on behalf of any Party except as expressly provided herein.

[Signatures on following page]

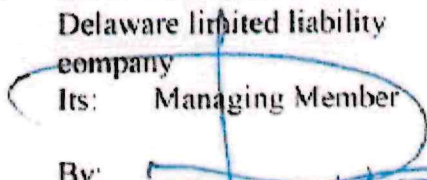
Dated: 7-27-, 2021 "Developer"

DAVIS JCR RUBIDOUX INDUSTRIAL LAND
OWNER LLC, a Delaware limited liability company

By: Davis JCR Rubidoux Industrial Land
Investors LLC, a Delaware limited liability
company
Its: Member

By: Davis Clairmont Rubidoux LLC, a
Delaware limited liability company
Its: Manager

By: Davis Rubidoux LLC, a
Delaware limited liability
company
Its: Managing Member

By: 
Name: ROBERT J. HILDEBRAND
Title: MANAGING MEMBER

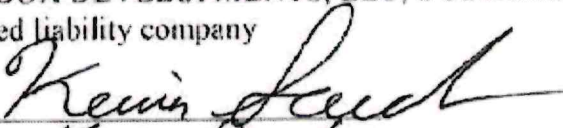
Address:

31920 Del Obispo #260
San Juan Capistrano, CA 92675
Attention: Daniel Karcher

"Adjacent Owner"

Dated: 7-19-21, 2021

ICE BOX DEVELOPMENTS, LLC, a California
limited liability company

By: 
Name: Kevin Sacalas
Title: Managing Member of ICE Box

Address:

7954 Choi Dr
Riverside CA 92506

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
)
COUNTY OF)

On _____, before me, _____, a Notary Public, personally appeared _____, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Notary Public

(SEAL)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
)
COUNTY OF Riverside)

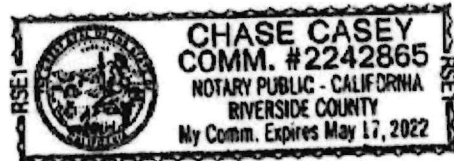
On July 19, 2021, before me, Chase Casey, a Notary Public, personally appeared Kevin Sabalas, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Chase Casey

Notary Public



(SEAL)

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Orange }

On July 29, 2021 before me, Heather Santilli, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Robert J. Thiergartner
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Place Notary Seal and/or Stamp Above

Signature [Handwritten Signature]
Signature of Notary Public

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian or Conservator

Other: _____

Signer is Representing: _____

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian or Conservator

Other: _____

Signer is Representing: _____

EXHIBIT "A"

DEVELOPER PROPERTY

That real property in the City of Jurupa Valley, County of Riverside, State of California, more particularly described as:

Parcel Map No. 33617, recorded in Book 232, pages 69 to 72, inclusive, of Parcel Maps in the Office of the County Recorder for Riverside County, California, as modified by that Certificate of Parcel Merger No. 19011 recorded on February 19, 2021 as Instrument No. 2021-0109710, that Lot Line Adjustment No. 19003 recorded on February 23, 2021 as Instrument No. 2021-0114495, that Certificate of Parcel Merger No. 19010 recorded on February 19, 2021 as Instrument No. 2021-0109709, and that Lot Line Adjustment No. 19004 recorded on February 25, 2021 as Instrument No. 2021-0122327, all in Official Records of Riverside County, California.

EXHIBIT "B"

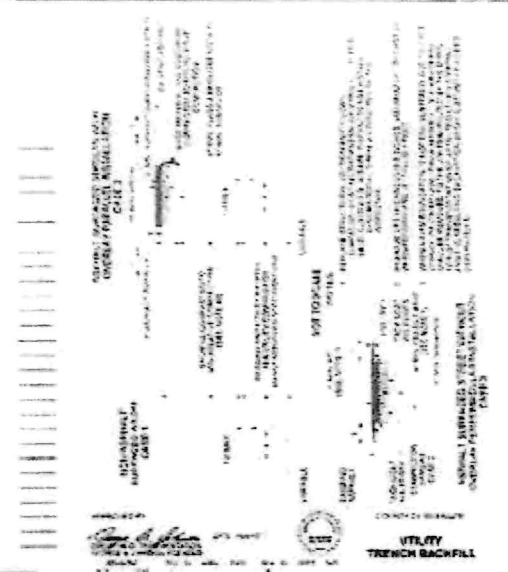
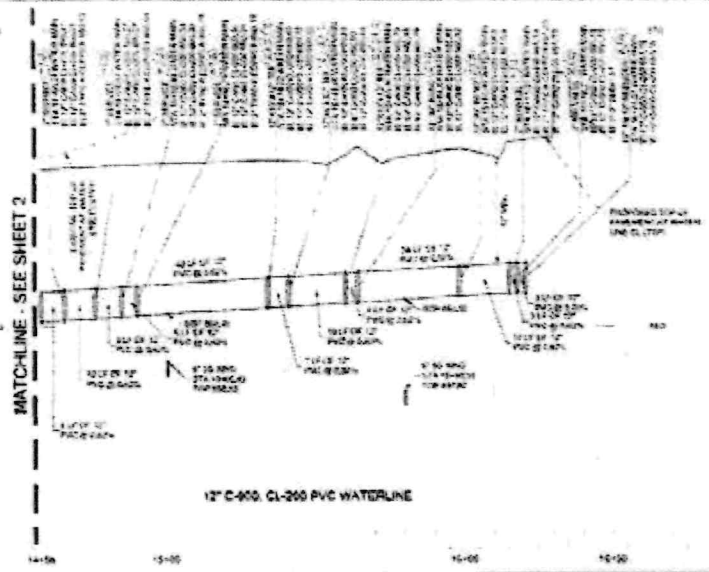
ADJACENT OWNER PROPERTY

That real property in the City of Jurupa Valley, County of Riverside, State of California, more particularly described as:

Parcel D of Lot Line Adjustment No. 20001 recorded December 30, 2020, as Instrument No. 2020-0665763, in Official Records of Riverside County, California.

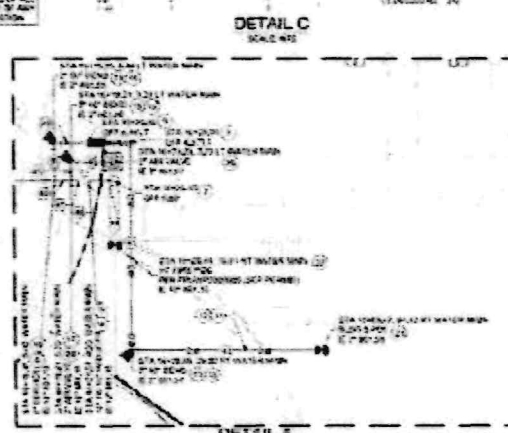
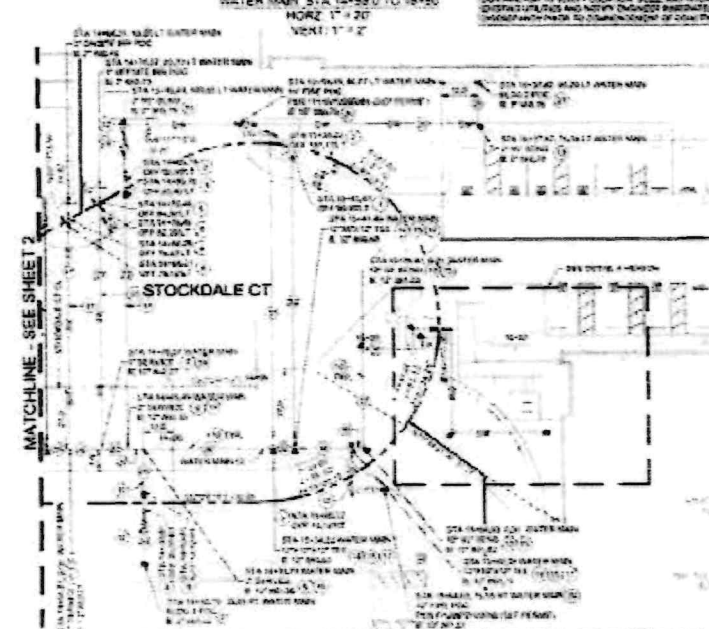
EXHIBIT "C"
PLANS FOR THE WORK

NO.	DATE	BY	DESCRIPTION
1	10/15/10	JAC	ISSUE
2	10/20/10	JAC	REVISED PER COMMENTS
3	10/25/10	JAC	REVISED PER COMMENTS
4	11/02/10	JAC	REVISED PER COMMENTS
5	11/08/10	JAC	REVISED PER COMMENTS
6	11/15/10	JAC	REVISED PER COMMENTS
7	11/22/10	JAC	REVISED PER COMMENTS
8	11/29/10	JAC	REVISED PER COMMENTS
9	12/06/10	JAC	REVISED PER COMMENTS
10	12/13/10	JAC	REVISED PER COMMENTS
11	12/20/10	JAC	REVISED PER COMMENTS
12	12/27/10	JAC	REVISED PER COMMENTS
13	01/03/11	JAC	REVISED PER COMMENTS
14	01/10/11	JAC	REVISED PER COMMENTS
15	01/17/11	JAC	REVISED PER COMMENTS
16	01/24/11	JAC	REVISED PER COMMENTS
17	01/31/11	JAC	REVISED PER COMMENTS
18	02/07/11	JAC	REVISED PER COMMENTS
19	02/14/11	JAC	REVISED PER COMMENTS
20	02/21/11	JAC	REVISED PER COMMENTS
21	02/28/11	JAC	REVISED PER COMMENTS
22	03/06/11	JAC	REVISED PER COMMENTS
23	03/13/11	JAC	REVISED PER COMMENTS
24	03/20/11	JAC	REVISED PER COMMENTS
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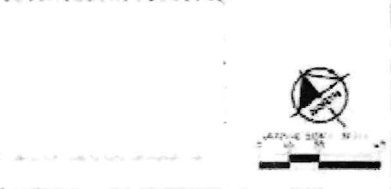
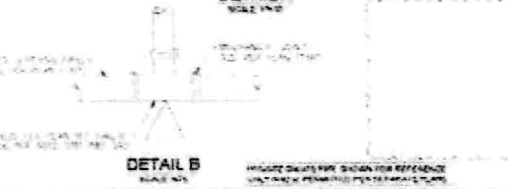


- LEGEND**
- 1. CONSTRUCTION OF COMMERCIAL PIPE (SHOWN PER ABOVE STD. DETAIL) SHALL BE DETAIL C (SEE SHEET 2)
 - 2. CONSTRUCTION OF 12\"/>

- WATER NOTES**
1. CONSTRUCTION OF COMMERCIAL PIPE (SHOWN PER ABOVE STD. DETAIL) SHALL BE DETAIL C (SEE SHEET 2)
 2. CONSTRUCTION OF 12\"/>



3. CONSTRUCTION OF 12\"/>



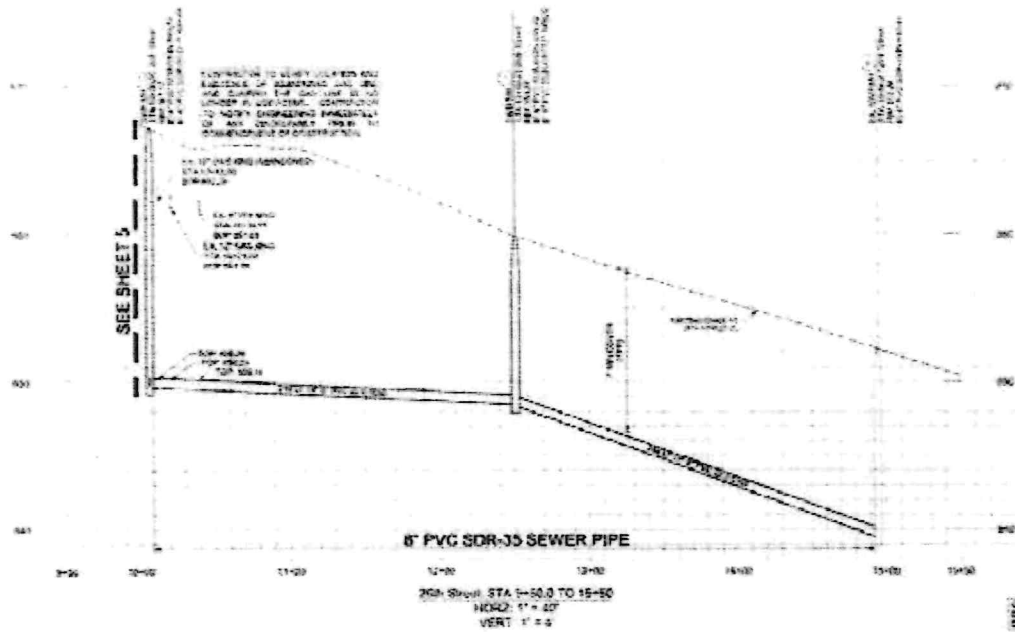
Kimley Horn

RUBIDOUX COMMUNITY SERVICES DISTRICT
WATER AND SEWER IMPROVEMENT PLANS
PHASE 2B (2011)
RUBIDOUX NEUTRAL CENTER
WATER PLAN



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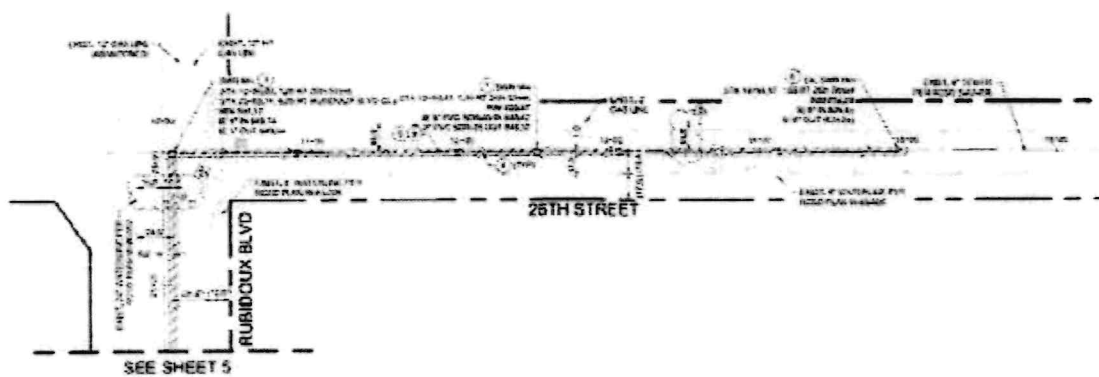
LEGEND

--- EXISTING GRADE
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 --- PROPOSED MANHOLE
 --- EXISTING STRUCTURE
 --- PROPOSED STRUCTURE
 --- EXISTING UTILITY
 --- PROPOSED UTILITY

- SEWER NOTES**
1. CONDUCT ALL SEWER WORK IN ACCORDANCE WITH THE CITY OF RIBAUDOU, MISSOURI, CHAPTER 100.00, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, CHAPTER 240.00.
 2. CONDUCT ALL SEWER WORK IN ACCORDANCE WITH THE CITY OF RIBAUDOU, MISSOURI, CHAPTER 100.00, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, CHAPTER 240.00.
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- NOTES**
1. CONTRACTOR TO VERIFY LOCATION, DEPTH AND PROFILE OF ALL EXISTING UTILITIES AND WORK IN ACCORDANCE WITH THE CITY OF RIBAUDOU, MISSOURI, CHAPTER 100.00, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, CHAPTER 240.00.
 2. CONTRACTOR TO VERIFY LOCATION, DEPTH AND PROFILE OF ALL EXISTING UTILITIES AND WORK IN ACCORDANCE WITH THE CITY OF RIBAUDOU, MISSOURI, CHAPTER 100.00, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, CHAPTER 240.00.

STANDARD SYMBOLS			
⊗	EXISTING	PROPOSED	UTILITY
⊙	EXISTING	PROPOSED	MANHOLE



CONTRACTOR TO VERIFY LOCATION, DEPTH AND PROFILE OF ALL EXISTING UTILITIES AND WORK IN ACCORDANCE WITH THE CITY OF RIBAUDOU, MISSOURI, CHAPTER 100.00, AND THE MISSOURI DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, CHAPTER 240.00.

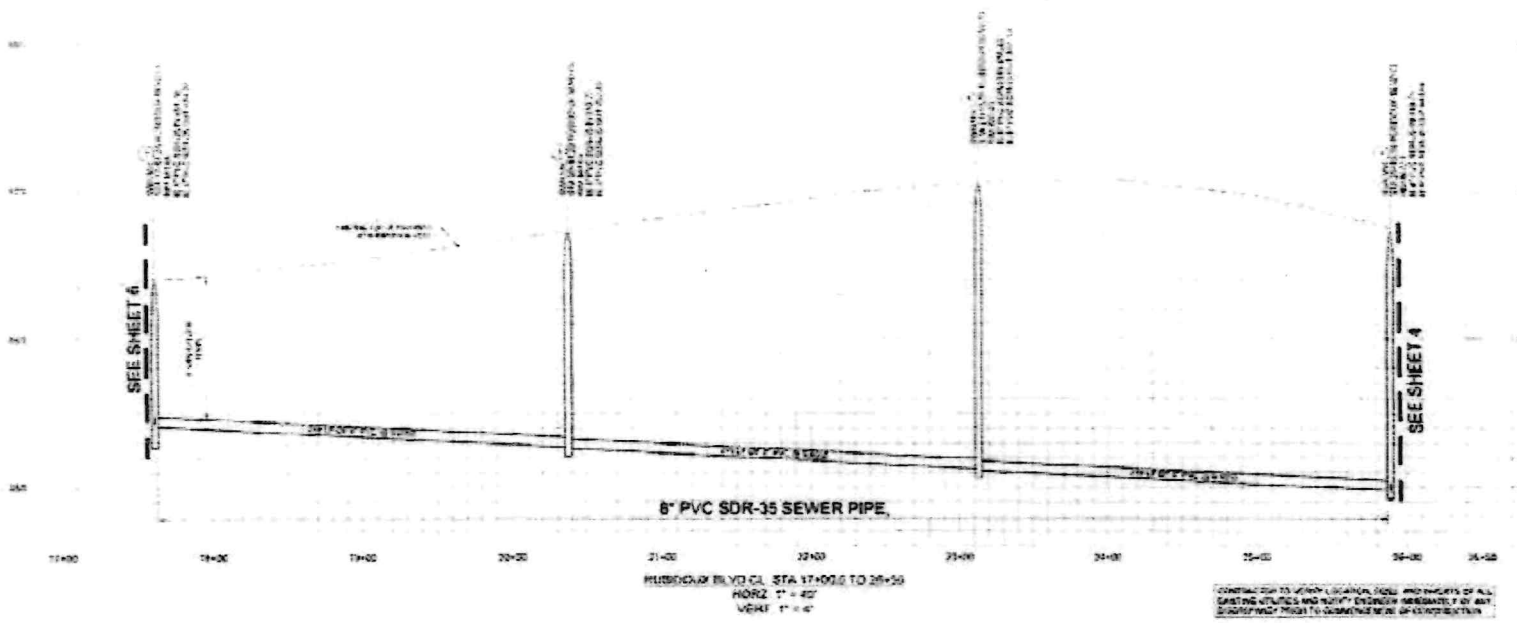


Kimley-Horn

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RIBAUDOU COMMUNITY SERVICES DISTRICT
 WATER AND SEWER IMPROVEMENT PLANS
 APRIL 2007
 RIBAUDOU INDUSTRIAL CENTER
 SEWER PLAN

4
 OF
 8



LEGEND

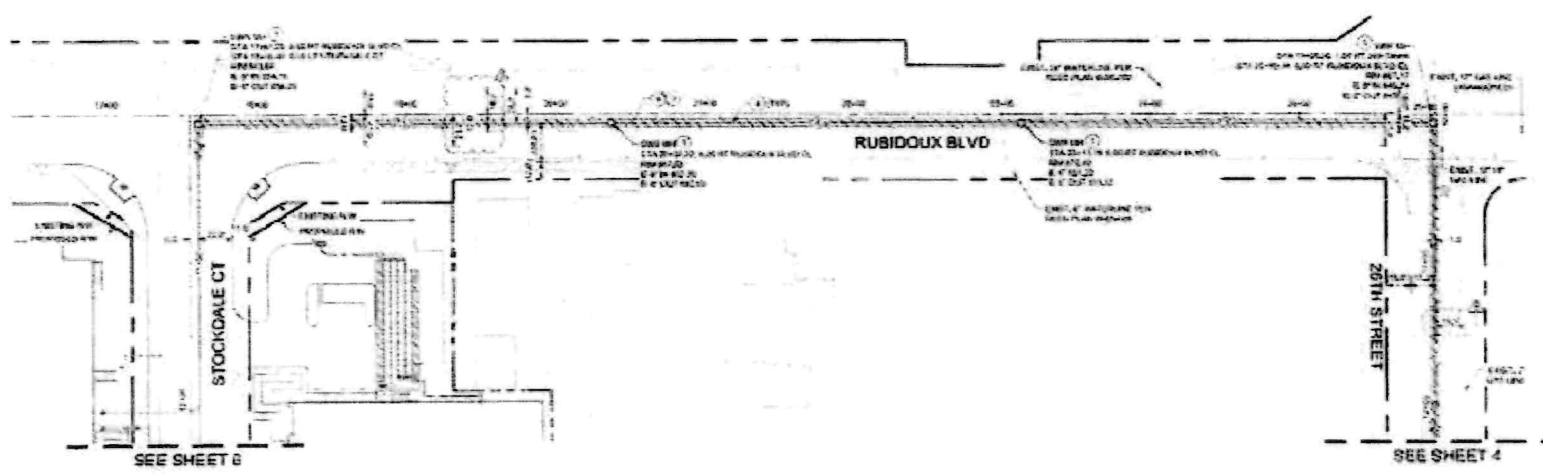
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- SEWER NOTES**
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CONCRETE PIPE TABLE

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SEE SHEET 6

SEE SHEET 4



Kimley-Horn
 CONSULTING ENGINEERS
 100 WEST ONE HUNDRED SEVEN STREET
 ST. LOUIS, MISSOURI 63102
 TEL: (314) 433-1000
 FAX: (314) 433-1001
 WWW.KIMLEY-HORN.COM

RUBIDOUX COMMUNITY SERVICES DISTRICT
 WATER AND SEWER IMPROVEMENT PLANS
 PHASE MAP 2007
 RUBIDOUX INDUSTRIAL CENTER
 SEWER PLAN

5 OF 6

100 WEST ONE HUNDRED SEVEN STREET

ASSIGNMENT OF PARTICIPATION AGREEMENT

THIS ASSIGNMENT OF PARTICIPATION AGREEMENT (“*Assignment*”) is made and entered into as of March 15, 2024, by and between DAVIS JCR RUBIDOUX INDUSTRIAL LAND OWNER LLC, a Delaware limited liability company (“*Assignor*”), and BIRTCHE ANDERSON & DAVIS ASSOCIATES INC., a California corporation (“*Assignee*”), effective as of the date hereof.

RECITALS:

A. Assignor and RUBIDOUX COMMUNITY SERVICES DISTRICT, a public agency (“*District*”) have entered into that certain Participation Agreement Offsite Sewer System Improvements for Tract No. 33617 (Rubidoux Boulevard and 26th Street) (“*Participation Agreement*”) regarding the terms and conditions related to the District’s collection of and forwarding of funds received by other property owners who connect to certain offsite improvements which Assignor installed within Rubidoux Boulevard and 26th Street.

B. The ownership of Assignor has decided to dissolve Assignor. Prior to such dissolution, such ownership desires to assign the rights of Assignor under the Participation Agreement to an affiliated entity, Assignee.

AGREEMENTS:

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Assignor and Assignee agree as follows:

1. Assignment of Participation Agreement. Assignor hereby assigns and transfers to Assignee all of Assignor’s right, title, claim and interest in, to and under the Participation Agreement.
2. Assumption of Participation Agreement. Assignee hereby acknowledges and agrees to all of the terms of the Participation Agreement, accepts the foregoing assignment and assumes any and all rights and obligations of Assignor under the Participation Agreement. Notices to Assignee under the Participation Agreement shall be sent to Assignee at the address for Assignor set forth in the Participation Agreement.
3. Counterparts. This Assignment may be executed in counterparts, each of which, when taken together, shall constitute fully executed originals of this Assignment. To facilitate execution of this Assignment, the parties may exchange by electronic mail (e-mail), or portable document format (PDF) counterparts or other electronic imaging of the signature page, which shall be effective as original signature pages for all purposes. Delivery of the execution original to the Assignment or any e-mail signature or PDF thereof may be given on behalf of a party by the attorney of such party.

[SIGNATURES ON THE FOLLOWING PAGE]

[SIGNATURE PAGE TO ASSIGNMENT]

IN WITNESS WHEREOF, this Assignment has been executed effective as of the date first above written.

ASSIGNOR:

DAVIS JCR RUBIDOUX INDUSTRIAL LAND
OWNER LLC, a Delaware limited liability company

By: Davis JCR Rubidoux Industrial Land
Investors LLC, a Delaware limited liability
company
Its: Member

By: Davis Clairmont Rubidoux LLC, a
Delaware limited liability company
Its: Manager

By: Davis Rubidoux LLC, a
Delaware limited liability
company
Its: Managing Member

By: *Robert J Thiergartner*

Name: Robert Thiergartner

Title: Managing Member

ASSIGNEE:

BIRTCHER ANDERSON & DAVIS
ASSOCIATES INC., a California corporation

By: *Daniel W Karcher*

Name: Daniel Karcher

Title: President

[DISTRICT ACKNOWLEDGEMENT TO ASSIGNMENT]

District hereby acknowledges and approves the foregoing Assignment.

DISTRICT:

**RUBIDOUX COMMUNITY SERVICES
DISTRICT, a public agency**

Date: _____, 2024

By: _____
Brian Laddusaw
Its General Manager

ATTEST:

Date: _____, 2024

By: _____
John Harper
Its General Counsel

6. **CONSENT CALENDAR** (continued)

- D. **DM 2024-28**: Consider Approval of ERS Environmental Services (“ERS”) Quote for the Repair of Manganese Filter #3 at the Leland Thompson Water Treatment Plant (“Thompson Plant”)

Rubidoux Community Services District

Board of Directors

John Skerbelis, President
Hank Trueba Jr., Vice-President
Bernard Murphy
Armando Muniz
F. Forest Trowbridge

General Manager

Brian R. Laddusaw



Water Resource Management Refuse Collection Street Lights Fire / Emergency Services Weed Abatement

DIRECTORS MEMORANDUM 2024-28

April 4, 2024

To: Rubidoux Community Services District
Board of Directors

Subject: Consider Approval of ERS Environmental Services (“ERS”) Quote for the Repair of Manganese Filter #3 at the Leland Thompson Water Treatment Plant (“Thompson Plant”)

BACKGROUND:

In 2012, Rubidoux Community Services District (“District”) installed three manganese filter media vessels at the Thompson Plant. These filter vessels are equipped with PVC piping inside to distribute the water throughout the vessels. Wells 1A, 8, and 18 run through manganese treatment before entering ion exchange vessels to remove PFAS.

On February 16, 2024, District staff received a high-pressure alarm from the filter cartridge that is positioned at the effluent of the manganese filter vessels. Upon inspection, staff noticed manganese filter media in the cartridge filters. Staff then looked inside all three manganese filter vessels and noticed filter vessel #3 had lost some media. Staff also inspected the waste tank that holds the wastewater from the manganese filter vessel backwash process and noticed manganese filter media in the waste tank as well. Filter vessel #3 was then taken out of service until further inspection.

District staff contacted ERS for a quote to remove the media from the waste tank and filter vessel #3 and, inspect the inside of filter vessel #3 for any damage. Management approved a quote from ERS in the amount of \$29,730 for three days of work to remove the media and inspect filter vessel #3. On March 19-21, 2024, ERS performed the quoted work and found breaks in the PVC piping inside of filter vessel #3, which would explain the filter media in the waste tank and the cartridge filter. The PVC breaks may have been caused by excess flow to the filter vessels, water surging, aging and/or poorly assembled PVC, or a combination of these reasons.

On March 26, 2024, the District received a quote from ERS to repair filter vessel #3 for \$191,010. The quote includes removing concrete to expose damaged PVC, removing PVC influent and effluent headers, installing

new 316 stainless steel wedge wire laterals, and loading new media. Staff recommended using 316 stainless steel to ensure longevity and structural integrity of the inside piping of the vessel.

Staff recommends using \$191,010 from the FY 23/24 Water Fund Budget Operating Expense: Treatment Media. As of the writing of this Directors Memorandum, the District has approximately \$384,000 in the Water Fund Budget Operating Expense: Treatment Media budget, which is sufficient to cover the cost of repairing manganese filter vessel #3.

RECOMMENDATION:

Staff recommends the Board of Directors consider authorizing the General Manager to:

1. Accept the quote from ERS for the Manganese Filter Vessel #3 repairs.
2. Issue a purchase order to ERS Industrial Services, Inc. in the amount of \$191,010.

Respectfully,



BRIAN R. LADDUSAW, CPA
General Manager

Attach:

1. ERS Quote #RCD032124-1Q



March 26, 2024

Jesus Aguirre
Rubidoux CSD
3590 Rubidoux Blvd.
Jurupa Valley, Ca. 92509

QUOTE #: RCD032124-1Q
PHONE #: 951-202-0791
EMAIL ADDRESS: jaguirre@rcsd.org

Dear Jesus:

ERS is pleased to submit its proposal for our Service on repairs on Filter #3 at the Leland Thompson water treatment facility, located in Riverside, Ca.

Scope of Supply:

- *Filters #3.*
 - Remove concrete to expose damaged PVC effluent header& internal joint.
 - Remove and dispose of PVC Influent and Effluent headers.
 - Install new 316 S.S. 12” influent & effluent headers to internal connection.
 - Incase effluent header with concrete.
 - New 316 S.S. wedge wire laterals.
 - Load new media (customer supplied).
 - Supply new manway bolts and gasket

Clarifications:

- Any extra work/repairs are to be tracked on T&M.

*Price **does not** include bonding.*

Price does not include any valves, instruments, or controls.

ERS will also repair or replace existing underdrains as needed, on a time and materials basis.

Disposal testing and transport to be executed in compliance with RCRA Subtitles C & D.



Standard Provisions:

1. Insurance
 - a. Pollution Liability \$5,000,000.00
 - b. Professional Liability \$5,000,000.00
2. Qualified manpower:
 - a. Onsite Supervisor/Environmental Technician/Hole Watch.
 - b. Certifications in Forklift/Reach Lift, Crane Operator, Confined Space & Rescue, and First Aid/CPR/AED.
3. Equipment and PPE:
 - a. High-power industrial vacuum system.
 - b. Ventilation fan for air circulation.
 - c. Four gas monitors for pre-entry and continuous LEL testing.
 - d. Air-purifying respirators (supplied air respirators available if required).
4. Safety Regulations:
 - a. Confined Space:
 - i. Tripod/winch for emergency evacuation.
 - ii. Fall arrest harnesses with safety lanyards for all men.
 - iii. Permit-required confined space entry permits as applicable.
 - iv. Daily monitoring log.
 - b. 2-Way radios for communication with in-tank personnel.
 - c. Cellular phone as an emergency response tool.
5. New media as follows:
 - a. None.



PRICING: \$191,010.00

Quote Valid for 30 days.

Our time and materials work are billed at \$246.00 per man-hour, straight time, plus materials with a 25% margin. Price includes all applicable sales tax.

Please feel free to contact me should you need further information or any clarification. My contact information is: phone – cell (510) 552-3285; office (510) 770-0202; email – nradonich@ersfilter.com

If quote is accepted, please answer questions below, sign and return to Nradonich@ersfilter.com

Sincerely,

Nik Radonich
Sales/Engineering Manager

Is this project subject to PREVAILING WAGE? Yes No

Is this project deemed PUBLIC WORK and therefore subject to the rules and regulations of the California Department of Industrial Relations (DIR)? Yes No

If the answers are "NO", please mark as such and refer to the paragraph at the end of this document.

PO or Contract #

DIR Project #

Authorized Representative — Name & Signature

Title

(hereinafter "Contracting Party") has represented in writing and to ERS and does hereby reaffirm in writing to ERS (hereinafter "Contractor") that neither the project which is the subject matter of this Agreement nor the requested work to be performed on the project by Contractor are "public work" as defined by federal law, Chapter 1, Part 7 of Division 2 of the California Labor Code (governing "Public Works and Public Agencies"), or any other federal, state or local statute, ordinance, regulation, or administrative and/or judicial decision. Based on the foregoing representation, Contractor has calculated its bid for the subject project based on certain wage rates and benefits. Contracting Party will specifically verify, prior to allowing Contractor to submit a proposal on the project or work to be performed on the project, that project is not deemed to be a public works project and that there are no requirements for prevailing wages or other unique bid requirements. In the event that Contracting Party has made any misrepresentation regarding the foregoing whether intentionally or negligently, Contracting Party specifically agrees to indemnify, reimburse, and hold Contractor harmless from and against any and all claims, penalties, fines or assessments that may arise from Contracting Party's failure to properly report and describe the project to Contractor. Contracting Party shall reimburse any and all attorney's fees and all costs associated with defending or enforcing this projection to Contractor.

7. **CORRESPONDENCE AND RELATED INFORMATION**

8. **REPORTS** (continued)

B. Emergency and Incident Report (Second Meeting Each Month)

8. **REPORTS** (continued)

C. General Manager and Staff Reports / Updates

8. **REPORTS** (continued)

D. Committee Reports

9. ACTION / DISCUSSION ITEMS

- A. **DM 2024-30:** Consider Amendment to the 2005 Design and Construction Manual to add Advanced Meter Infrastructure (“AMI”) Meters to the Approved Material Specifications

Rubidoux Community Services District

Board of Directors

John Skerbelis, President
Hank Trueba Jr., Vice President
Bernard Murphy
Armando Muniz
F. Forest Trowbridge

General Manager

Brian R. Laddusaw



Water Resource Management Refuse Collection Street Lights Fire / Emergency Services Weed Abatement

DIRECTORS MEMORANDUM 2024-30

April 4, 2024

To: Rubidoux Community Services District
Board of Directors

Subject: Consider Amendment to the 2005 Design and Construction Manual to add Advanced Meter Infrastructure ("AMI") Meters to the Approved Material Specifications

BACKGROUND:

The Rubidoux Community Services District ("District") Board of Directors adopted the 1997 Design and Construction Manual ("Manual") by Resolution 665 on June 5, 1997. The Manual was further updated in 2005 by staff via the Assistant General Manager / District Engineer at the time to bring the Manual to then current standards in the industry. The Manual is currently being revised and updated with a completely new Manual to keep it current with today's standards, practices, materials and products. The Manual update is expected to be completed by early 2025 and then brought to the Board of Directors for adoption. The 2005 edition of the Design and Construction Manual is available on the District's website at <https://www.rcsd.org/documents-plans>.

The current Manual has material specifications listing those materials to be used within the District. The purpose of having approved materials is to provide consistency for design of system improvements by consultants and developers, and by field staff during maintenance and repair of the water and sewer system. However, the current Manual does not have specifications for water meters ("meters") in the Approved Materials List.

In 2023, the District was awarded a Drought Resiliency Grant ("Grant") from the United States Bureau of Reclamation ("USBR") to convert existing District meters to AMI meters. This Grant is in the amount of \$1,500,000 and these funds need to be utilized by the end of 2026 to replace the meters covered in the Grant. The Grant requires a 50% cost share; thus, the District will need to accumulate a project cost of \$3,000,000 to utilize all \$1,500,000 of the Grant funds. The Grant will only pay for approximately 5,000 of the District's approximate 7,000 meters. This is Phase 1 of the overall meter replacement program. The District intends to apply for another USBR grant, Phase 2, for the balance of the meters in October 2024.

The District's current meters are mechanical meters using a paddle wheel to measure the amount of water flowing through the meter. The existing meters are either read at the meter itself or via a radio head which is

read by the meter reader using a wand tapped on the meter to get the read. Some of the more recent meters installed by the District use a technology called Automatic Meter Reading (“AMR”) which transmits a signal that is picked up by a receiver as the meter reader drives or walks down the street near the meters. After data collection, the meter data is transferred to a database where the District can bill customers based on actual consumption.

Paddle wheel meters are prone to read slow over time until they eventually stop reading altogether. This is due to internal mechanical parts wearing down. When meters read slowly, more water passes through the meter than what the meter reads, resulting in the customer being billed less than what they used. This creates two problems. First, the customer does not know how much water they are actually using which can lead to water being wasted.. Second, since the meter is reading less water than actually being used, the District is not billing its customers for the actual water used. Since every meter reads slightly differently as it ages each customer is not being billed in a fair and consistent manner. Those customers with newer meters are being fully billed versus customer with an older meter as those with older meters are not reading all the water passing through it.

AMI meters use electronic pulse in a magnetic field to read water flows which is known as a “Mag Meter”. They have radio heads and a wireless communication system to provide continuous meter reads and transmit data to a central receiving point making near real time reads possible. This system is an integrated system of water meters, communication networks and data management systems that enables two-way communication between meter endpoints and the District. Unlike AMR, AMI doesn’t require a meter reader to collect the data. Instead, the system automatically transmits the data directly to the utility at predetermined intervals.

As the meter data is sent to utilities via a fixed communication network the District can use the data to improve operational efficiencies and sustainability by effectively monitoring water usage and system efficiency, detecting malfunctions, and recognizing irregularities. AMI meters and the associated communication network can also provide data to the District’s customers to inform them of potential leaks the same day their usage goes outside of their normal usage rather than up to six weeks later when the customer receives a bill indicating excess water use. This helps reduce water waste, and it also lowers the customer’s frustration level when looking at their bill weeks later, which has spiked due to a leak they may not be aware of.

With a fixed network, the District must work with a specific vendor to get the infrastructure and technologies up and running. This vendor will develop and build the communication network and provide the water meters that work with the network.

Staff has reviewed and interviewed AMI meter manufacturers for this project to determine the best meter for the District and narrowed the selection to Sensus and Neptune meters. After reviewing submittal information provided by Sensus and Neptune, staff has decided to use Neptune Meters. Some of the important and distinguishing Characteristics of the Neptune meter include the following:

- Neptune is the only manufacturer who has their own brass foundry in the USA located in Tallassee, Alabama. This is key for the “Buy American” requirements of the USBR Drought Resiliency Grant.
- Neptune is capable of an immediate backup mobile reading, with no reprogramming, if in an emergency situation where the AMI infrastructure went down. No other AMI vendor is capable of this.

- Neptune has a proven design of an integrated Radio and Register (R900i) which eliminates small wires and keeps the system performing at its highest levels.
- Neptune has a proven history of backwards compatibility leaving no customer left behind. Radios installed over 20 years ago can transmit through Neptune's current AMI network.
- Neptune Mach10 has the highest sampling rate in the industry at 4x per second.
- Neptune has local presence and support. Offices are located in Riverside, CA.
- Neptune has proven AMI systems with surrounding utilities. East Valley, Redlands, Western Water, Victorville, Fontana Water, San Gabriel, Indio Water Authority, Corona, Mission Springs.
- Neptune has the ability to meet the Grant schedule.

RECOMMENDATION:

Staff recommends the Board of Directors authorize the General Manager, or his designee, to amend the 2005 Design and Construction Manual to include in the Approved Materials List the Neptune Mach 10 Meter and to add the updated specification for the meters.

Respectfully,



BRIAN R. LADDUSAW
General Manager

Attach:

1. Meter Specifications to be added to the Manual

SECTION 17330
RESIDENTIAL FLOW METER
TECHNICAL SPECIFICATIONS

PART 1 - GENERAL

1.01 General Requirements

Contractor shall furnish and install residential flow meter systems and all appurtenant materials, equipment, and work suitable for the services listed, complete and operable in accordance with requirements of the Contract Documents and in conformance with the manufacturer's recommendations. Upon completion of installation, the work shall be tested to demonstrate compliance with these specifications.

1.02 Submittals

All submittals shall be in accordance with the Contractor Submittals Technical Specifications, Section 01300.

A. Shop Drawings

Contractor shall submit shop drawings in accordance with the Contractor Submittals Technical Specification and shall include, but not be limited to, the following:

1. Details and specifications of all components of all meters including detailed installation instructions.
2. Wiring and connection schematics.
3. Manufacturer's application performance guarantee for each meter location, and recommendations for installation at each location.
4. Factory accuracy test reports for each meter furnished.

B. Operation and Maintenance Manual

Contractor shall submit a detailed operation and maintenance manual for the flow metering system(s) specified herein.

PART 2 - PRODUCTS

2.01 General

- A. Residential flow meter system shall consist of a flow meter with integral factory-programmed electronic register/interface device.
- B. Flow meter shall be solid-state with no moving parts and utilize two (2) ultrasonic transducers to measure flow rate.

- C. Flow meter system shall be manufactured to order with a manufacturing date no earlier than three (3) months prior to order date.
- D. Flow meter system shall be Mach 10 R900i as manufactured by Neptune Technology Group.

2.02 Flow Meter

A. Meter Body

1. The meter body shall be made cast from NSF/ANSI 61 certified lead free alloy containing a minimum of 85% copper. Plastic bodies or flow tubes are not acceptable.
2. Meter size, model, direction of flow, and NSF 61 certification shall be indicated on the meter body.
3. All fastening hardware shall be constructed of 300-series non-magnetic corrosion-resistant stainless steel to prevent corrosion.
4. Meters 5/8" through 1" in size shall be provided with National Pipe Straight Mechanical (NPSM) threaded end connections and meters larger than 1" shall be provided with flanged end connections. Contractor shall coordinate connection type and size based on actual meters furnished.

B. Meter Register/Interface Device

1. The meter register/interface device shall consist of a meter register and meter interface unit (MIU), housed within the same enclosure.
2. The device shall be provided with a 9-digit LCD display.
3. The meter serial number shall be displayed in a permanent location on the register.
4. The device shall be fully potted with no exposed wires connecting the MIU and register.
5. The device shall transmit seamlessly in both advanced metering infrastructure (AMI) and automated meter reading (AMR) mode without any additional programming.
6. The device shall be sealed in a roll-sealed copper can and glass lens to allow for submersion in a flooded environment.
7. The device shall be capable of operating at temperatures of -22°F to +149°F (-30°C to +65°C) and operating humidity factor of 0 to 100% condensing.
8. The radio circuit board and battery shall be protected by a hard-potting material.
9. The device shall be designed for a remote antenna capable of being installed

through an industry standard 1-3/4" hole in a meter box lid for maximum transmission range.

10. The antenna shall be capable of mounting to various thicknesses of meter box lids from 1/2" to 2-1/2" and various distances from meters.
11. The antenna shall be rigid in design to withstand traffic and shall have a dual-seal connection to the MIU housing.
12. The MIU device shall be protected against static discharge without loss of data per IEC 801-2, Issue 2.
13. Power shall be supplied to the MIU by a lithium battery with capacitor.
14. The number of radio-based meter reads performed must not affect the battery life.
15. The battery life shall not be affected by outside erroneous wake-up tones (e.g., other water, gas, or electric utilities reading and therefore sending out a wake-up tone).
16. The battery shall be a fully potted component of the MIU with no external wires.

C. Performance

1. All meters shall be capable of the following flow ranges at the listed accuracies.

Meter Size	Extended Low Flow @ 100% Accuracy (U.S. gpm ± 3%)	Normal Operating Range @ 100% Accuracy (U.S. gpm ± 1.5%)	Safe Maximum Operating Capacity (U.S. gpm)	
			Normal Operation	Fire Service
5/8"	0.05	0.10 to 25	25	N/A
3/4"	0.05	0.10 to 35	35	35
1"	0.25	0.40 to 55	55	55
1-1/2"	0.30	0.80 to 125	125	125
2"	0.50	1.5 to 160	160	160

2. Meters shall not require a strainer for accurate operation.

2.03 Data Transport

- A. The MIU shall provide 8-digit reading resolution from encoded registers using either Sensus UI-1203 protocol or Neptune ProRead™/E-CODER protocol in mobile as well as AMI network data collection applications, simultaneously, without need for programming.
- B. The MIU shall read the encoded register at 15-minute intervals to provide accurate leak and reverse flow detection using 8-digit resolution reads.

- C. The MIU shall transmit readings from the encoder that are not older than one (1) hour.
- D. The MIU shall transmit the meter reading continuously at a predetermined transmission interval.
- E. The MIU shall transmit AMI network messages every three (3) hours – standard. No programming shall be necessary to activate transmission of AMI network messages.
- F. Each AMI network message shall include capability to include 12-meter readings for redundancy to improve read success rates.
- G. The MIU shall transmit mobile messages every 20 seconds – standard. No programming shall be necessary to activate or revert to transmission of mobile messages.
- H. In the event of a cut wire, the MIU shall not send the last good read as this can lead to miss-billing. The MIU shall transmit a trouble code in lieu of the meter reading.
- I. Tamper – If wiring has been disconnected, a "non-reading" shall be provided indicating wire tamper; a reading that gives the last available reading is an incorrect reading.
- J. Each device shall have unique preprogrammed identification numbers (ID) of nine (9) characters. ID numbers will be permanent and shall not be altered. Each device shall be labeled with the ID number in numeric and barcode form. The label shall also display FCC approval information, manufacturer's designation, and date of manufacture.
- K. The MIU shall transmit the encoder meter reading and a unique MIU ID number. The MIU shall interface to encoder registers using Neptune E-CODER or Sensus UI- 1203 communication protocol via a 3-conductor wire without need for special configuration to the MIU.
- L. The MIU shall transmit time-synchronized, top-of-the-hour readings as part of its scheduled, periodic AMI network transmission.
- M. The MIU shall periodically transmit a packet that includes the register information such as register ID, register type, and other status information no less than weekly.
- N. The MIU shall automatically attempt to join an AMI network on a periodic basis and once provisioned and authorized, will begin transmission of AMI network messages for consumption by host software as part of simultaneous operation of walk-by, mobile, or AMI network without any site visits or reprogramming of MIU.

2.04 FCC Licensing & Certification

- A. The MIU shall operate within Federal Communications Commission (FCC) Part 15.247 regulations for devices operating in the 902 MHz to 928 MHz unlicensed band. The output power of the devices will be governed by their conformance to these relevant FCC standards.

- B. To minimize the potential for radio frequency (RF) interference from other devices, the MIU shall transmit using the frequency hopping, spread spectrum technique comprised of alternating pseudo-random frequencies within the 902 MHz to 928 MHz unlicensed band and/or transmit using the LoRaWAN™ protocol using spread spectrum modulation.
- C. For ease of implementation, the System shall not require any special licensing, including licenses from the FCC. The System must, therefore, operate in the 902 MHz to 928 MHz unlicensed band.
- D. The System must be expandable at any time without getting authorization from the FCC.
- E. No wake-up tone shall be necessary.

PART 3 - EXECUTION

A. Factory Testing

Each meter shall be factory-tested for accuracy in accordance with AWWA C715 to demonstrate compliance with these specifications.

B. Installation

Installation of residential flow meter systems shall be in strict accordance with the manufacturer's written instructions.

C. Warranty

Manufacturers shall guarantee electrical equipment against defects in material and workmanship from date of manufacture. For meters 5/8" to 1", warranty shall be for full replacement for the first ten (10) years and prorated straight-line replacement for the subsequent ten (10) years. For meters 1-1/2" to 2", warranty shall be for full replacement for ten (10) years. Warranty shall be provided in the District's name.

END OF SECTION

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10. **DIRECTORS COMMENTS AND REQUEST**

11. NEXT MEETING

Thursday, April 18, 2024, at 4:00 p.m.

12. ADJOURNMENT